



KING COUNTY

1200 King County Courthouse
516 Third Avenue
Seattle, WA 98104

Signature Report

Ordinance 19459

Proposed No. 2022-0163.2

Sponsors Dembowski

1 AN ORDINANCE relating to the construction of

2 Northshore Athletic Fields Phase 2 in accordance with the

3 thirty-year use agreement with Northshore Athletic Fields

4 authorized by ordinance 17739, authorizing the King

5 County executive to amend the use agreement to jointly

6 approve construction of Phase 2 and award a \$423,000

7 Community Partnerships Grant to Northshore Athletic

8 Fields.

9 **STATEMENT OF FACTS:**

- 10 1. King County Ordinance 14509 authorized the department of natural
- 11 resources and parks to create new public recreation opportunities by
- 12 empowering user groups, sports associations and community organizations
- 13 to develop mutually agreed upon capital improvements for public
- 14 recreation facilities on King County land, and thereby address either or
- 15 both regional and rural recreation needs without increasing tax-funded
- 16 operations and maintenance costs.
- 17 2. In 2013, in accordance with Ordinance 17739, King County and
- 18 Northshore Athletic Fields, a Washington state nonprofit corporation,
- 19 entered into a thirty-year use agreement for the continued use of the

Ordinance 19459

20 athletic field complex at the Northshore Athletic Fields, as well as,
21 mutually agreed upon site improvements.

22 3. Phase 1 of the site improvements included the conversion of two
23 baseball infields to synthetic turf, a new restroom, plaza area and related
24 infrastructure. Those improvements were completed in 2016.

25 4. Phase 2 of the site improvements, include the conversion of a third
26 baseball infield to synthetic turf, a new playground and related
27 infrastructure.

28 5. The parks and recreation division of the department of natural
29 resources and parks is proposing a \$423,000 community partnership grant
30 be awarded to the Northshore Athletic Fields towards Phase 2
31 improvements from moneys already appropriated for grant purposes.

32 6. The thirty-year agreement must be amended to approve Phase 2 and
33 award grant moneys.

34 BE IT ORDAINED BY THE COUNCIL OF KING COUNTY:

35 SECTION 1. The King County executive is hereby authorized to execute an
36 amendment to the thirty-year use agreement with Northshore Athletic Fields, authorized
37 by Ordinance 17739, substantially in the form of Attachment A to this ordinance. The

Ordinance 19459

- 38 executive may execute such other documents that are necessary or convenient to carry
- 39 out the purposes of this ordinance.

Ordinance 19459 was introduced on 4/19/2022 and passed by the Metropolitan King County Council on 6/28/2022, by the following vote:

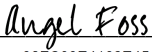
Yes: 9 - Balducci, Dembowski, Dunn, Kohl-Welles, Perry, McDermott, Upthegrove, von Reichbauer and Zahilay

KING COUNTY COUNCIL
KING COUNTY, WASHINGTON

DocuSigned by:


 7E1C273CE9994B6...
 Claudia Balducci, Chair

ATTEST:

DocuSigned by:


 92FC09E4162E45A...
 Melani Pedroza, Clerk of the Council

APPROVED this _____ day of 7/14/2022, _____.

DocuSigned by:


 4FBCAB8196AE4C6...
 Dow Constantine, County Executive

Attachments: A. First Amendment to Use Agreement for the Athletic Field Complex Located at Northshore Athletic Fields Property, dated May 31 2022

**FIRST AMENDMENT TO USE AGREEMENT
FOR THE ATHLETIC FIELD COMPLEX LOCATED AT
NORTHSHORE ATHLETIC FIELDS PROPERTY**

RECITALS

- A. In 2013, King County, a home rule charter county and political subdivision of the State of Washington ("the County"), and Northshore Athletic Fields (NAF) a not-for-profit, tax-exempt 501(c)(3) corporation organized under the laws of the State of Washington entered into a 30 year Use Agreement (the "Agreement") pursuant to Ordinance 17739 to develop, operate, use, and maintain an athletic field complex (the "Complex"), located at the Northshore Athletic Fields property in King County, Washington, ("the Site") as a recreational facility for the benefit and use of the public.
- B. Section 4.2 of the Agreement references the Master Plan for the Complex (Exhibit B), which includes a proposed list of capital improvements to the Site which will be completed in the near-term and in the future as funding becomes available, and the process for King County approval of improvements at the Site. Exhibit C to the Agreement includes the proposed schedule and sequence of capital improvements at the Site.
- C. Pursuant to Section 4.2 King County has reviewed and approved additional improvements proposed by NAF which include the conversion of a third baseball infield to synthetic turf, a new playground, and related infrastructure collectively referred to as Phase 2.
- D. King County and NAF wish to amend Exhibit B and Exhibit C of the Agreement to reflect the additional Phase 2 improvements approved by King County.
- E. In addition, King County wishes to award NAF a \$423,000 grant from the Community Partnerships and Grant Program (CPG) towards the construction of Phase 2.

NOW, THEREFORE, pursuant to Section 8.16 of the Agreement, King County and NAF agree to amend the Agreement as follows::

1. Sections 4.2.2; 4.3; and 8.17 are deleted in their entirety and replaced by the following.

4.2.2 Project Plan. NAF contemplates making the improvements specified in Exhibit B to this Agreement according to the schedule and sequence set forth in Exhibit C to this Agreement. NAF shall present a "Project Plan" to King County before making any material alteration to any part of the Site or the Complex, such as those improvements listed in Exhibit B, including any substantial change to the landscaping. Each Project Plan shall describe the planning process with a timeline and milestones; describe the principal features of the proposed improvement; provide conceptual design drawings, if applicable; describe in reasonable detail and rationale the goals and objectives of the improvement; identify the party primarily responsible for supervising the project; and provide a schedule showing the sources and timing of funding for the project. The Division shall review the Project Plan for the Complex in concept and reserves the right to approve the final design of improvements to the Complex, consistent with established King County zoning, design code, or both. Division approval shall not constitute regulatory approval by King County. Work shall not begin on any particular project without first obtaining prior written approval of the Project Plan by the Division. This right of review and approval is in addition to and separate from any permits or other process that may be required by law.

4.3 Grant Award. The Division will provide a Community Partnership Grant (CPG) to NAF in the amount of \$423,000. These moneys shall be applied towards the permitting and capital cost to construct

Phase 2 of the Facility at the Site per Exhibit B and Exhibit C. With the exception of any other King County grants that may independently be awarded to NAF, King County will be under no obligation, directly or indirectly, to pay for any labor, material, or improvement associated with the Complex in excess of the \$423,000 capital outlined above.

8.17 *Approved Exhibits.* The following exhibits are attached to this Agreement:

- (A) Illustration of the Site, the Common Areas, and the Complex;
- (B) NAF'S Master Plan and Proposed List of Capital Improvements dated 5/31/22;
- (C) Schedule (NAF's Proposed Timing and Sequence of Capital Improvements) dated 5/31/22;
- (D) King County Code 7.12;
- (E) IAC Project Agreement No. 66-025;
- (F) Division's Advertising and Sponsorship Policy, PAR 1-18

2. Exhibit B is deleted in its entirety and replaced by the following new Exhibit B:

EXHIBIT – B

NAF’s Master Plan and Proposed List of Capital Improvements

IMPROVEMENT PROJECT	BUDGET
<p>Restroom/Concession Building (sample drawing; CXT Precast Products)</p>	<p>\$250,000</p>
<p>Batting Cages (sample image represents a dual bullpen, 80’ x 30’ structure)</p>	<p>\$20,000</p>

EXHIBIT – B

Schedule (NAF's Proposed Timing and Sequence of Capital Improvements)

<p>Maintenance Building</p>	<p>\$25,000</p>
<p>Electrical (upgrade to code)</p>	<p>\$15,000</p>
<p>Picnic Area & Kids Play Structure</p>	<p>\$50,000</p>
<p>Field—1 Bleachers</p>	<p>\$15,000</p>
<p>Walkway / Accessibility</p>	<p>\$50,000</p>
<p>Entry</p>	<p>\$15,000</p>
<p>Infield Turf and/or Fencing / Backstops / Netting</p>	<p>\$350,000 \$100,000</p>

NORTHSHORE ATHLETIC FIELDS RENOVATION

WOODINVILLE, WASHINGTON

GRADING PERMIT SET

PROJECT 2018-06

LANDSCAPE ARCHITECT:

SANDERSON STEWART
 CONTACT: ERIK J. SWEET, ASLA, RLA
 1300 N Transtech Way, Billings, MT, 59102
 P(406) 869-3344
 C (425) 766-9535

CIVIL ENGINEER:

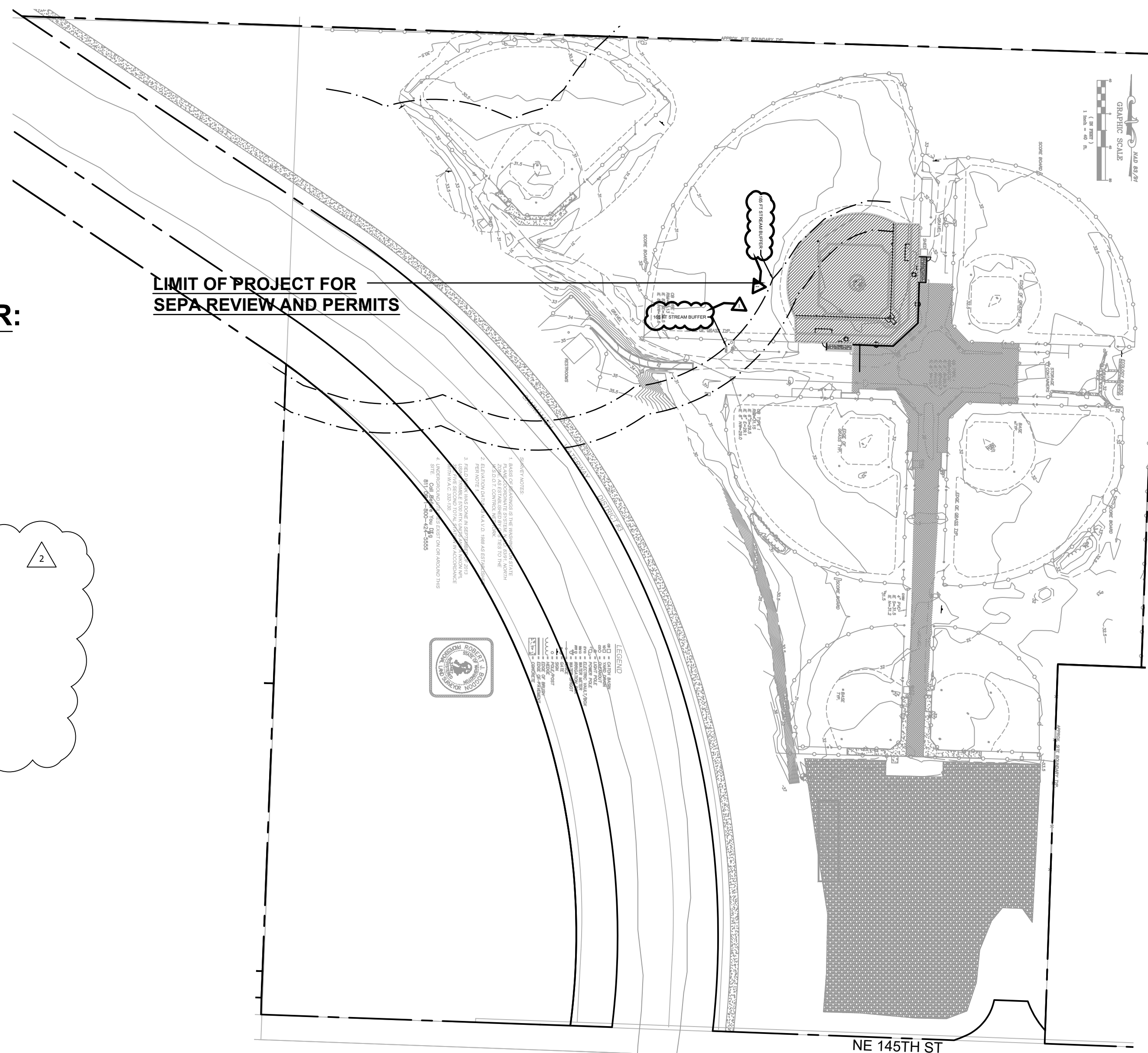
DAVID EVANS & ASSOCIATES
 CONTACT: Robert Jefferson, P.E.
 2106 Pacific Ave, Suite 400
 Tacoma, WA 98402
 P (253)250-0634

GEOTECHNICAL ENGINEER:

ASSOCIATED EARTH SCIENCES
 CONTACT: MATT MILLER
 911 5th Ave.
 Kirkland, WA 98033
 P(425) 827-7701
 F(425) 827-5424

STRUCTURAL ENGINEER:

LYVER ENGINEERING AND DESIGN, LLC
 CONTACT: TROY D. LYVER, PE/SE
 7950 SE 106th Ave,
 Portland, OR 97266
 P(503) 705-5283



DRAWING INDEX:

- G1 COVER SHEET
- G2 ADJOINING PARCELS
- S1 STRUCTURAL NOTES
- EX1 EXISTING CONDITIONS
- L0 OVERALL SITE PLAN
- L1 DEMOLITION PLAN
- L2 GRADING PLAN
- L3 FIELD DRAINAGE PLAN
- L4 SURFACE LAYOUT PLAN
- L5 FIELD DETAILS
- L6 FIELD DETAILS
- L7 FIELD DETAILS
- C1.0 TESC & DEMOLITION PLAN
- C1.1 TESC NOTES & DETAILS
- C2.0 STORM DRAINAGE PLAN
- C3.0 NOTES & DETAILS

PARCEL NO : 152605-9070

LEGAL DESCRIPTION:
 POR OF S 1/2 OF SW 1/4 LESS POR LYING WLY OF E LN OF SAMM WATERWAY LESS E 287.15 FT LESS E 387.15 FT OF S 485 FT LESS RD TGW 100 FT STRIP ELY OF&CONCENTRIC TO ELY LN OF SAMM WATERWAY IN N 1/2 & NW 1/4 OF SE 1/4 OF SD SEC TGW POR SD SE 1/4 ELY OF & CONCENTRIC WITH & 50 FT WLY OF SWLY LN OF SAMM WATERWAY LESS POR SD 50 FT STRIP LYING NLY OF SLY LN OF LOT 2 OF KCSP 1281011 REC #8203120543 LESS RD LESS P/L R/W LESS POR PER REC #20100211000595

Site Plan Approval
 Approval of these plans is for construction of road and drainage improvements, site drainage & grading and temporary erosion control in unincorporated King County only. These plans do not authorize any other utility approval or improvements proposed in any State right of way.
 Site plan approval is void if the commercial building permit has not been obtained or renewed within two years of approval.
 Subdivision plan approval is void if the final plat is not recorded prior to the preliminary plat approval expiration.

PRO RATA SHARE ASSESSMENT ANALYSIS
 (County Use Only)

Section	Township	Range	Tax Parcel	Number

Site Location is within the _____ drainage shed(s)
 Pro Rata Share Assessment(s) are: Required Not Required from the site due to development for increased storm water runoff.
 Peak Runoff Assessment Rate(\$ _____) per c.f.s. increases.(10 year, 2 hour storm)
 Peak Volume Assessment Rate(\$ _____) per Ac. Ft. increases.(2 year, 2 hour storm)

AGREEMENTS, PLAN REFERENCES, PERMITS ETC.
 (To be completed by Consultant)

Preliminary Plat Approval/Permit Issued Date: _____

Expiration Date: _____

Other Related Permit Numbers Received:

Right-of-Way Use Permit _____

Grading _____

Building/Structural _____

Other _____

Board feet of tree removal on site: _____

Cubic yards of material hauled on/off the site: _____

Is this a highly sensitive area site? (Yes/No): _____
 Note: If "yes", per SWDM Appendix D44 a Highly Sensitive Site Erosion Control Supervisor is required. See ESC plan.

Emergency 911
 Police-Fire-Rescue

RECOMMENDED FOR APPROVAL
 (To be completed by King County)

Date _____

Review Engineer _____

Senior Engineer _____

Traffic & Planning Engineer _____

Sensitive Areas _____

Structural Review Engineer _____

Other _____

Notice Required

Contractors shall notify operators who maintain underground utility lines in the area of proposed excavation or blasting at least two business days, but not more than ten working days prior to commencement of excavation or demolition in accordance with RCW Title 19. Names and telephone numbers of the operators of underground utility lines in this project appear below. These numbers shall also be used to serve in an emergency conditions as required.

	Phone
Sanitary Sewer	_____
Water District	_____
Gas Company	_____
Power Company	_____

Call Before You Dig DIAL-A-DIG 1-800-424-5555

- Notes**
- The Developer is required to notify the Land Use Services Division, Land Use Inspection Section (206) 296-8842, three days prior to the beginning of construction for a preconstruction conference and specifically request inspection before beginning:
 - A. Installing siltation and erosion control measures
 - B. Clearing and grubbing
 - C. Earthwork
 - D. Installation of any underground utility
 - E. Before placing subbase, base or paving surfaces
 - F. Installation of any forms or placing any concrete
 - A permit must be obtained from the office of the Resident Engineer, Washington State Department of Transportation, before any construction is started on any existing state route.
 - A Hydraulic Project Approval (HPA) Permit must be obtained from the Washington State Department of Fisheries prior to any work when required.

Bonding Information

Restoration Bond Amount \$ _____

King County
 APPROVED FOR CONSTRUCTION
 DEPARTMENT OF DEVELOPMENT & ENVIRONMENTAL SERVICES

Date _____ Molly A. Johnson, P.E.
 Development Engineer

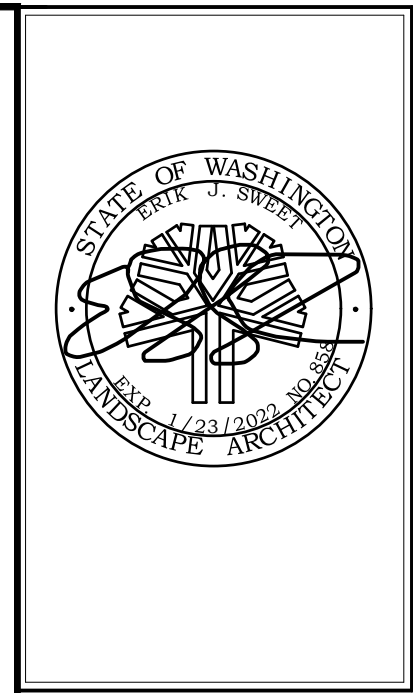
PROJECT CONTACT INFORMATION
 (To be completed by Consultant)

Northshore Athletic Fields

Applicant Contact: _____
 Name: _____ Phone: _____
 12900 NE 180th Street, Bothell, WA 98011
 Owner Leasor
 Address and Zip Code

Ownership: _____
 Name: _____ Phone: _____
 201 S Jackson St, Seattle, WA 98077
 Trustee _____
 Address and Zip Code

Certified Surveyor/Engineer: _____
 Name: _____ Phone: _____
 1300 N Transtech Way, Billings, MT 59102
 Surveyor Engineer
 Address and Zip Code



NORTHSHORE ATHLETIC FIELDS
 FIELD RENOVATIONS
 NORTHSHORE ATHLETIC FIELDS CORPORATION
 14735 NE 145TH ST WOODINVILLE, WA 98072



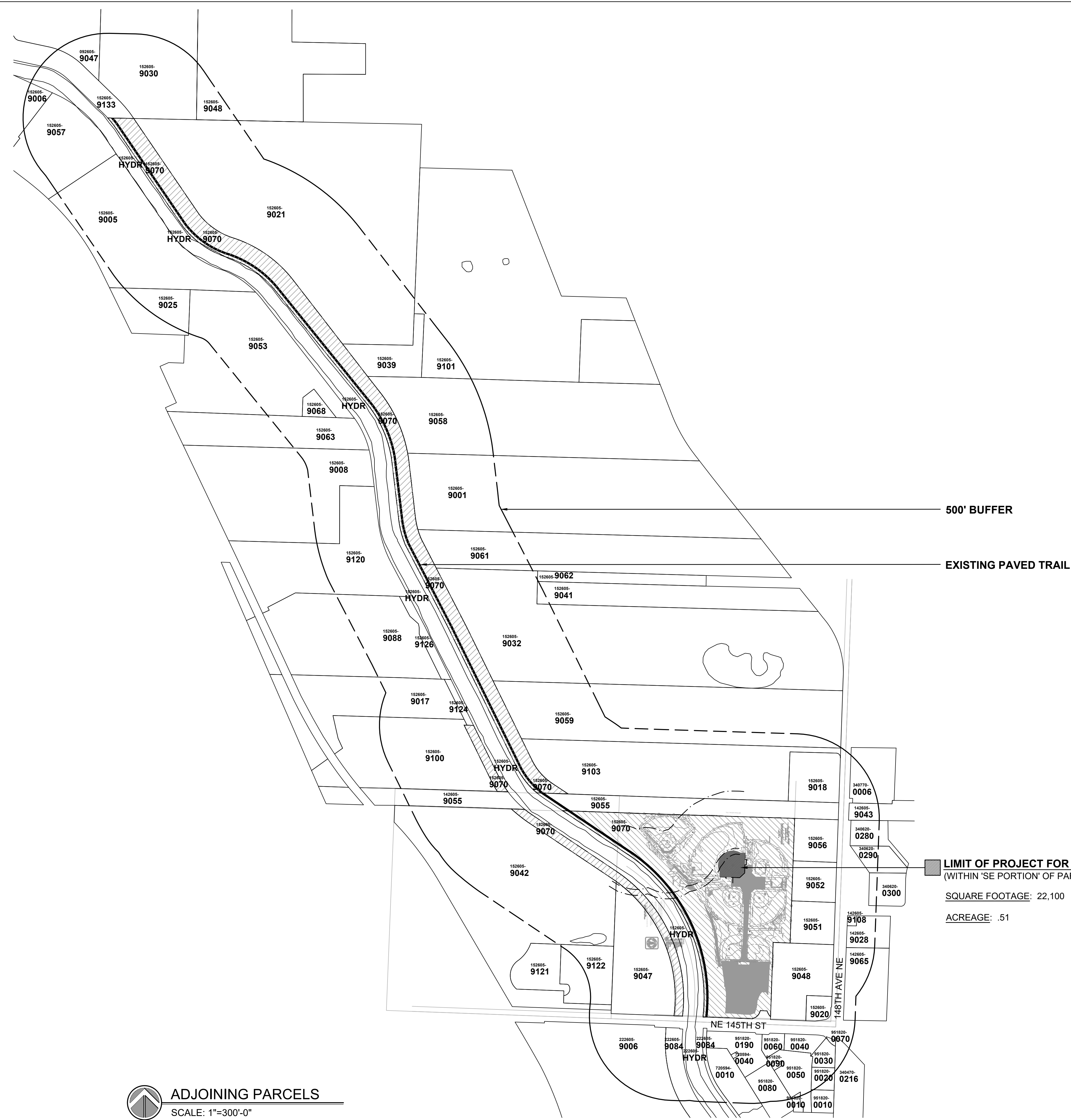
Drawing:
 COVER SHEET

Date: 06/02/2020
 Job #: 20025
 Scale: 1"=100'-0"
 Design: EJSW
 Drawn: JWC
 Check: MM
 Revisions: _____

PERMIT SET REVISIONS

Sheet:
G1





500' BUFFER

EXISTING PAVED TRAIL

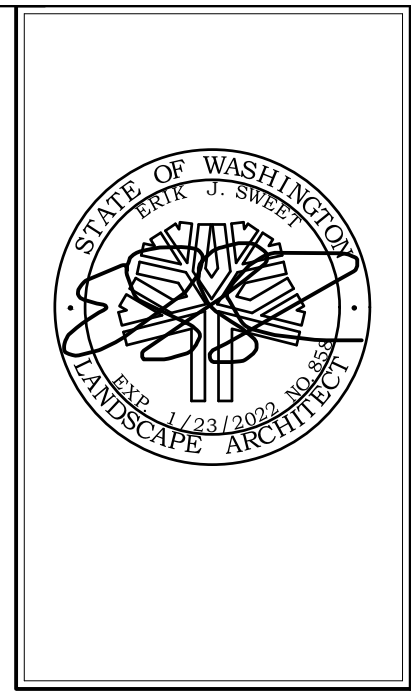
LIMIT OF PROJECT FOR SEPA REVIEW AND PERMITS
(WITHIN 'SE PORTION' OF PARCEL 152605-9070)

SQUARE FOOTAGE: 22,100

ACREAGE: .51

ADJOINING PARCELS
SCALE: 1"=300'-0"

CALL BEFORE YOU DIG
Call: TOLL FREE
1-800-424-5555



**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14735 NE 145TH ST WOODINVILLE, WA 98072



Drawing:
**ADJOINING
PARCELS**

Date: 06/05/2020
Job #: 20025
Scale: 1"=300'-0"
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

PERMIT SET REVISIONS

Sheet:
G2



NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS
NORTHSHORE ATHLETIC FIELDS CORPORATION
14735 NE 145TH ST WOODINVILLE, WA 98072



PROJECT STRUCTURAL NOTES

GENERAL INFORMATION:

1. THE CONTROLLING DESIGN CODE IS THE 2018 IBC WITH CURRENT STATE OF WASHINGTON AMENDMENTS..
2. THE PROJECT WAS DESIGNED FOR THE FOLLOWING LOADS:
 - A. SOIL DESIGN VALUES: ASSOCIATED EARTH SCIENCES, DATED SEPTEMBER 15, 2014 AND REVISED FEBRUARY 9, 2022) - PROJECT #20140453E001.
 - ALLOWABLE BEARING: 1500 PSF WITH $\frac{1}{8}$ INC FOR WL/EQ
 - PASSIVE PRESSURE: 150 PCF WITH $\frac{1}{8}$ INC FOR WL/EQ
 - B. WIND LOAD: 100 MPH EXPOSURE B (130 MPH ULTIMATE) (USE 25% OF SURFACE AREA OF NETTING w/ GLAZE ICE BUILD UP)
 - C. SEISMIC LOAD: SITE CLASSIFICATION 'D'
3. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK.
4. ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME TYPE AND CHARACTER AS SHOWN FOR SIMILAR CONDITIONS. SUBJECT TO REVIEW OF A.O.R. AND E.O.R.

SPECIAL INSPECTION:

1. SPECIAL INSPECTION REQUIRED SHALL BE PROVIDED PER IBC CHAPTER 17.
2. SPECIAL INSPECTION IS REQUIRED AS FOLLOWS:
 - A. REINFORCING STEEL SHALL BE INSPECTED PERIODICALLY DURING INSTALLATION TO VERIFY SIZE AND LOCATION.
 - B. MASONRY OPERATIONS SHALL BE INSPECTED PER CHAPTER 17 AND LOCAL JURISDICTION.
 - C. CONCRETE SHALL BE INSPECTED CONTINUOUSLY DURING PLACEMENT. INSPECTOR SHALL MAKE CONCRETE CYLINDERS AND TEST 3 CYLINDERS FOR EVERY 100 YARDS OF CONCRETE POURED, OR FOR EACH DAY'S POUR. THE CYLINDERS SHALL BE TESTED AT 7 DAY, 28 DAY AND 1 YEAR FOR CONTROL.
 - D. ALL INSPECTION REPORTS SHALL BE DISTRIBUTED TO THE OWNER, ARCHITECT, ENGINEER, AND PERMIT AGENCY. THE INSPECTOR SHALL PROVIDE A SUMMARY LETTER OF PROJECT COMPLETION.

FOUNDATIONS:

1. FENCE POSTS TO BE EMBEDDED IN CONCRETE PIERS.

REINFORCING STEEL:

1. REINFORCING IS NOT REQUIRED FOR THESE FOUNDATIONS. IF REINFORCING IS ADDED, THEN ALL INSTALLATION AND USE SHALL BE GOVERNED BY THE CURRENT EDITION OF ACI 318.

CONCRETE:

1. ALL CONCRETE SHALL DEVELOP A MINIMUM 28 DAY LAB CURED COMPRESSIVE STRENGTH OF 3000 PSI.
2. ALL EXPOSED CONCRETE TO HAVE 5% +/- 1% AIR, BY VOLUME, CONFORMING TO ASTM C 260.

FRAMING LUMBER:

1. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH AND SHALL BE GRADED UNDER THE MOST RECENTLY ADOPTED RULES OF THE WEST COAST LUMBER INSPECTION BUREAU (WCLB).
2. ALL BEAMS AND JOISTS SHALL BE NUMBER 2 (UNLESS NOTED OTHERWISE).
3. ALL STUDS AND BLOCKING SHALL BE NUMBER 2.
4. ALL LUMBER IN CONTACT WITH CONCRETE OR EXPOSED SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA STANDARD C-2 AND SHALL BEAR THE AWPA QUALITY MARK. FIELD CUTS, NOTCHES AND DRILLED HOLES OF PRESSURE TREATED MEMBERS SHALL BE RETREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4
5. ALL FRAMING CONNECTIONS TO BE MADE WITH SIMPSON FRAMING HARDWARE. COORDINATE SELECTION W/ ENGINEER PRIOR TO CONSTRUCTION. FASTENERS FOR PRESSURE OR FIRE RETARDANT TREATED WOOD SHALL BE HOT DIPPED GALVANIZED.

PLYWOOD SHEATHING:

1. ALL PLYWOOD SHALL BE C-D GRADE WITH EXTERIOR GLUE MANUFACTURED IN ACCORDANCE WITH THE UNITED STATES PRODUCT STANDARD PS 1-83/ANSI A199.1 "FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" AND SHALL CONFORM TO UBC STANDARD 23-2 AND SHALL BEAR THE APA TRADEMARK OF THE APA.
2. PLYWOOD SHALL BE LAID WITH END JOINTS STAGGERED.
3. BLOCK ALL SHEAR WALL SHEATHING WITH 2X BLOCKING AT ALL EDGES.
4. ALL EXTERIOR WALLS ARE TO BE CONTINUOUSLY SHEATHED.
5. OSB MAY BE SUBSTITUTED FOR PLYWOOD WITH SAME SPAN RATING.

TIMBER FASTENERS:

1. ALL TIMBER MATERIAL SHALL BE FASTENED PER IBC TABLE 2304.9.1, "FASTENING SCHEDULE" U.N.O.

STRUCTURAL STEEL AND MISCELLANEOUS IRON:

STRUCTURAL STEEL SHALL BE:

- ASTM A500, GRADE B (Fy=42 KSI) HOLLOW STRUCTURAL SECTIONS (PIPES)
 - OPTIONAL FENCE PIPE SS40 PER MANUFACTURER SPECIFICATIONS
1. DESIGN, FABRICATION, AND ERECTION SHALL BE IN ACCORDANCE WITH THE "AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" WITH "COMMENTARY" AND THE "CODE OF STANDARD PRACTICE", WITH EXCEPTIONS NOTED IN SPECIFICATIONS.
 2. DRAWINGS ARE DIMENSIONED FOR LAYOUT AND NOT DIMENSIONED PER AISC STANDARDS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE BETWEEN ALL DRAWINGS AND DEVELOP SHOP DRAWINGS WITH DETAIL AND DIMENSIONING PER AISC.
 3. ALL FABRICATION, ERECTION, IDENTIFICATION, AND PAINTING SHALL CONFORM TO AISC SPECIFICATIONS.
 4. ALL STEEL EXPOSED TO WEATHER, SOIL, MOISTURE, OR AS DENOTED ON PLANS SHALL BE HOT DIP GALVANIZED PER ASTM A-123, OR OTHER APPROVED PROTECTIVE COATING.
 5. ALL WELDING SHALL CONFORM TO AWS (LATEST EDITION) SPECIFICATIONS.
 - A. ALL WELDERS TO BE QUALIFIED UNDER AWS SPECIFICATIONS WITHIN THE PAST TWO YEARS FOR THE TYPE OF WELDING PERFORMED.
 - B. ALL WELDS SHALL BE PERFORMED USING PRE-QUALIFIED WELDING PROCEDURES.
 - C. WELDS FILLER METAL SHALL BE AWS A5.1 OR A5.5 E70XX ELECTRODES OR AWS A5.18 ER70S-X.
 - D. AFTER FABRICATION, BUT BEFORE INSTALLATION, REMOVE RUST, SCALE, GREASE, AND OIL BY WIRE BRUSHING AND CHEMICAL TREATMENT.
 - E. WELDING OF REINFORCING STEEL SHALL BE AS SPECIFIED IN THESE STRUCTURAL NOTES UNDER "CONCRETE REINFORCING STEEL".
 6. ALL HIGH-STRENGTH BOLTS, MATERIAL AND INSTALLATION, SHALL CONFORM WITH ASTM STANDARDS.
 - A. BOLTS SHALL CONFORM WITH ASTM A 325, TYPE N. BOLTS NOT NOTED IN THE DRAWINGS AS TYPE SC SHALL BE TYPE N
 - B. FOR BEARING-TYPE CONNECTIONS, TYPE N, BOLTS SHALL BE TIGHTENED TO A SNUG TIGHT CONDITION, ONLY.
 - E. ALL HIGH-STRENGTH BOLTS SHALL BE INSTALLED WITH HARDENED WASHERS, CONFORMING WITH ASTM F 436, AND NUTS, CONFORMING WITH ASTM A 563.
 - F. ALL BOLTS REQUIRING GALVANIZATION SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A 153, CLASS C.
 - G. NO WELDING TO HIGH-STRENGTH BOLTS IS ALLOWED.
 7. ALL MEMBERS SHALL BE CONNECTED WITH SEMI-FINISHED MACHINE BOLTS, UNLESS NOTED OTHERWISE ON PLANS. MACHINE BOLTS SHALL CONFORM TO ASTM A 307, GRADE A.
 8. BOLT HEADS OR NUTS BEARING ON SLOPING FLANGES SHALL BE EQUIPPED WITH BEVELED WASHERS.
 9. ERECTION AIDS (SUCH AS BOLTS, CLIPS, SHIMS, SEATS OR ANY OTHERS REQUIRED TO FACILITATE CONSTRUCTION) ARE THE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN AND PROVIDE.
 10. ALL FIELD WELDS TO GALVANIZED STEEL AND AREAS DAMAGED BY WELDING, FLAME CUTTING OR HANDLING, SHALL BE REPAIRED WITH AN ORGANIC COLD GALVANIZING COMPOUND HAVING A MINIMUM OF NINETY-FOUR PERCENT (94%) ZINC DUST IN THE DRY FILM. APPLY IN MULTIPLE COATS, UNTIL AN 8 MIL THICKNESS HAS BEEN ACHIEVED. SURFACES TO RECEIVE ZINC-RICH PAINT SHALL BE CLEAN, DRY AND FREE OF OIL, GREASE, SALT AND CORROSION PRODUCTS.

Drawn:
COVER SHEET

Date: 06/02/2020
 Job #: 20025
 Scale: 1"=100'-0"
 Design: EJSW
 Drawn: JWC
 Check: MM
 Revisions:

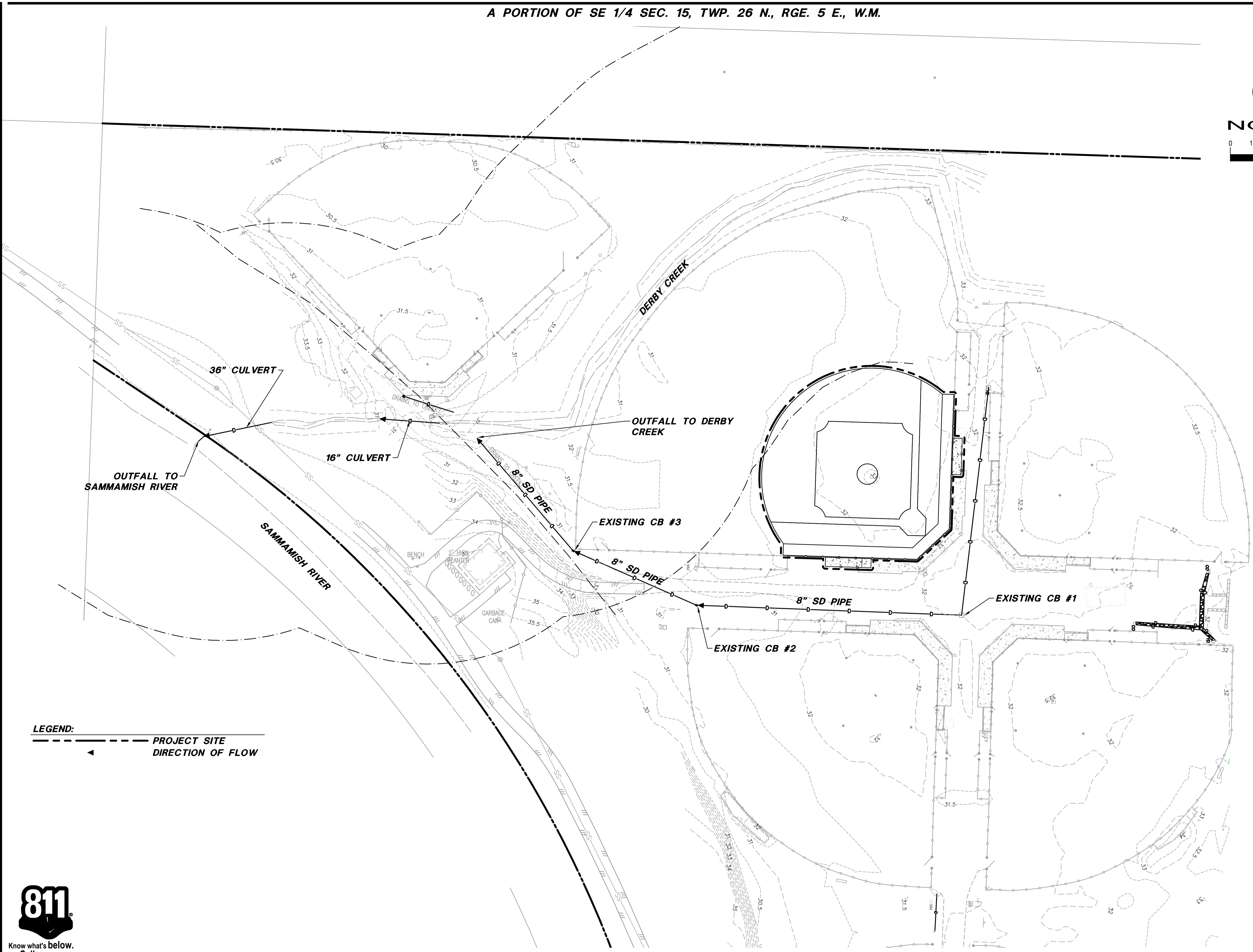
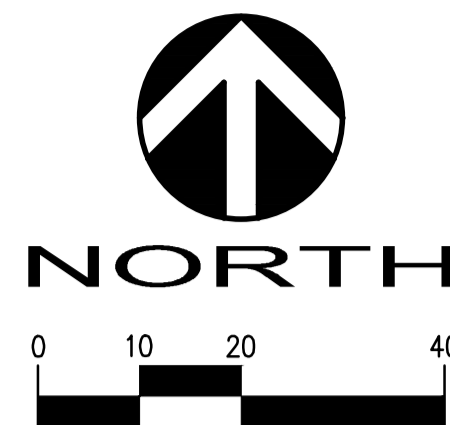
PERMIT SET REVISIONS

Sheet:
S1

A PORTION OF SE 1/4 SEC. 15, TWP. 26 N., RGE. 5 E., W.M.



DAVID EVANS AND ASSOCIATES INC.
20300 Woodinville Shoshomish Rd NE
Woodinville Washington 98072
Phone: 425.415.2000



DOWNSTREAM ANALYSIS SITE MAP
SLA LANDSCAPE ARCHITECTS
NORTHSHORE ATHLETIC FIELDS
WA
KING COUNTY

REVIEWED BY:	MAP	DATE	BY	CK
NO.	REVISION			

DESIGNED: RFL
CADD: MAS

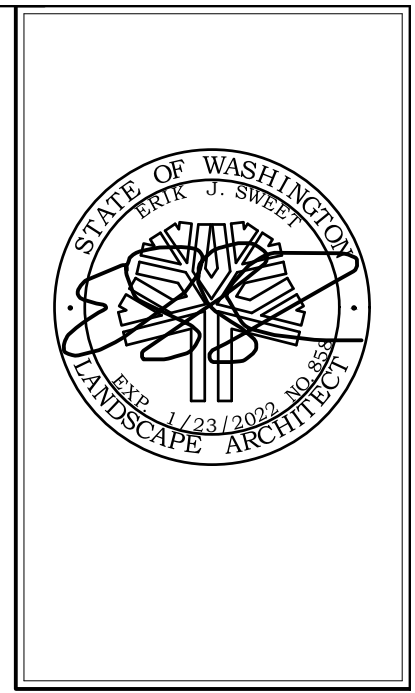
STAMP NOT VALID
UNLESS SIGNED AND DATED
FIRST SUBMITTAL DATE: JULY 2019
SCALE: HORIZ: --- VERT: ---

PROJECT NO.
SLAL00000004
SHEET NO.
EX-1
OF 1

LEGEND:
--- PROJECT SITE
▲ DIRECTION OF FLOW

Plot Date: 7/31/2019 12:35 PM
Save Date: 7/31/2019 12:33 PM
By: Michael Stewart
File: P:\S\SLAL\00000004\0400\AD\EC\H\B\T\Downstream Analysis Site Map.dwg





**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14725 NE 145TH ST WOODINVILLE, WA 98072



Drawing:
**OVERALL
SITE PLAN**

Date: 06/05/2020
Job #: 20025
Scale: 1"=40'-0"
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

▲ PERMIT SET REVISIONS

Sheet:
LO

PARCEL NO: 152605-9070: 'SW PORTION'
SQUARE FOOTAGE: 81, 859
(OUT OF THE 1, 458, 978 OVERALL TOTAL)
ACREAGE: 1.879
(OUT OF THE TOTAL 33.49 OVERALL TOTAL)

PARCEL NO: 152605-9070: 'SE PORTION'
SQUARE FOOTAGE: 831, 083
(OUT OF THE 1, 458, 978 OVERALL TOTAL)
ACREAGE: 19.1
(OUT OF THE TOTAL 33.49 OVERALL TOTAL)

OVERALL SITE PLAN LEGEND

- EXISTING GRAVEL PARKING LOT
- EXISTING PAVED ADA PARKING/STRIPING
- EXISTING POROUS PAVING
- PROPOSED SYNTHETIC TURF- COLOR BROWN (BASEPATHS)
- PROPOSED SYNTHETIC TURF- COLOR GREEN (INFIELD)
- EXISTING OUTFIELD NATURAL GRASS (TO REMAIN)
- SOD REPAIR (SYNTHETIC TURF TO NATURAL GRASS TRANSITION)
- EXISTING CXT CONCRETE RESTROOM STRUCTURE
- PROPOSED UPGRADED 6" GRAVITY SEWER SERVICE
- PROPOSED UPGRADED ELECTRICAL SERVICE

SITE DATA TABLE (PARCEL #: 152605-9070)

PARCEL ACREAGE: 33.49 Acres SHOWN ON THIS SHEET ('SE & SW PORTIONS')- 20.958 Acres

SYMBOL	LINE ITEM	SQUARE FEET	ACRES
	LIMIT OF PROJECT FOR SEPA REVIEW AND PERMITS	24,025	0.55
	EXISTING: GRAVEL PARKING LOT	65,952	1.514
	EXISTING: PLAZA PAVED AREA	22,941	0.526
	EXISTING: PAVED 10' WIDE LEVEE TRAIL	66,160	1.519
	EXISTING: SYNTHETIC TURF INFIELDS	22,100	0.507
	TOTAL EXISTING IMPERVIOUS:	177,153	4.069
	PROPOSED: SYNTHETIC TURF - INFIELD ONLY TO MATCH EXISTING SQF	24,025	.55
	PROPOSED: SOD REPAIR (SYNTHETIC TURF TO NATURAL GRASS TRANSITION)	610	.014
	TOTAL PROPOSED PERVIOUS:	24,675	.566
	EXISTING: ALL EXISTING IMPERVIOUS	177,263	4.069
	PROPOSED: SYNTHETIC TURF INFIELD	24,675	0.566
	TOTAL SITE IMPERVIOUS SURFACE: (13.8% of total Site)	201,938	4.635

EXISTING GRAVEL PARKING LOT TO REMAIN - APPROX 159 STALLS

PAVED RECREATION TRAIL (LOCATION APPROXIMATE (NOT SURVEYED) AND WIDTH SHOWN ASSUMES AVERAGE WIDTH OF 10' WIDE)

SAMMAMISH RIVER SLOUGH

SAMMAMISH RIVER LEVEE

TOE OF LEVEE SLOPE

TOP OF LEVEE SLOPE

EXISTING SITE ACCESS TO NE 145TH ST

PROJECT DOES NOT ENCROACH INTO 165' DERBY CREEK SETBACK

LIMIT OF PROJECT FOR SEPA REVIEW AND PERMITS 22,100 SQUARE FEET (0.50)

1 L5 SYNTHETIC TURF

EXISTING 26'X30' CXT RESTROOM BUILDING

EXISTING ASPHALT PAVING PLAZA

EXISTING MAINTENANCE BUILDING TO REMAIN

EXISTING VEGETATION ON ADJACENT PROPERTY TO REMAIN

FIRE ACCESS LANE TO REMAIN CLEAR

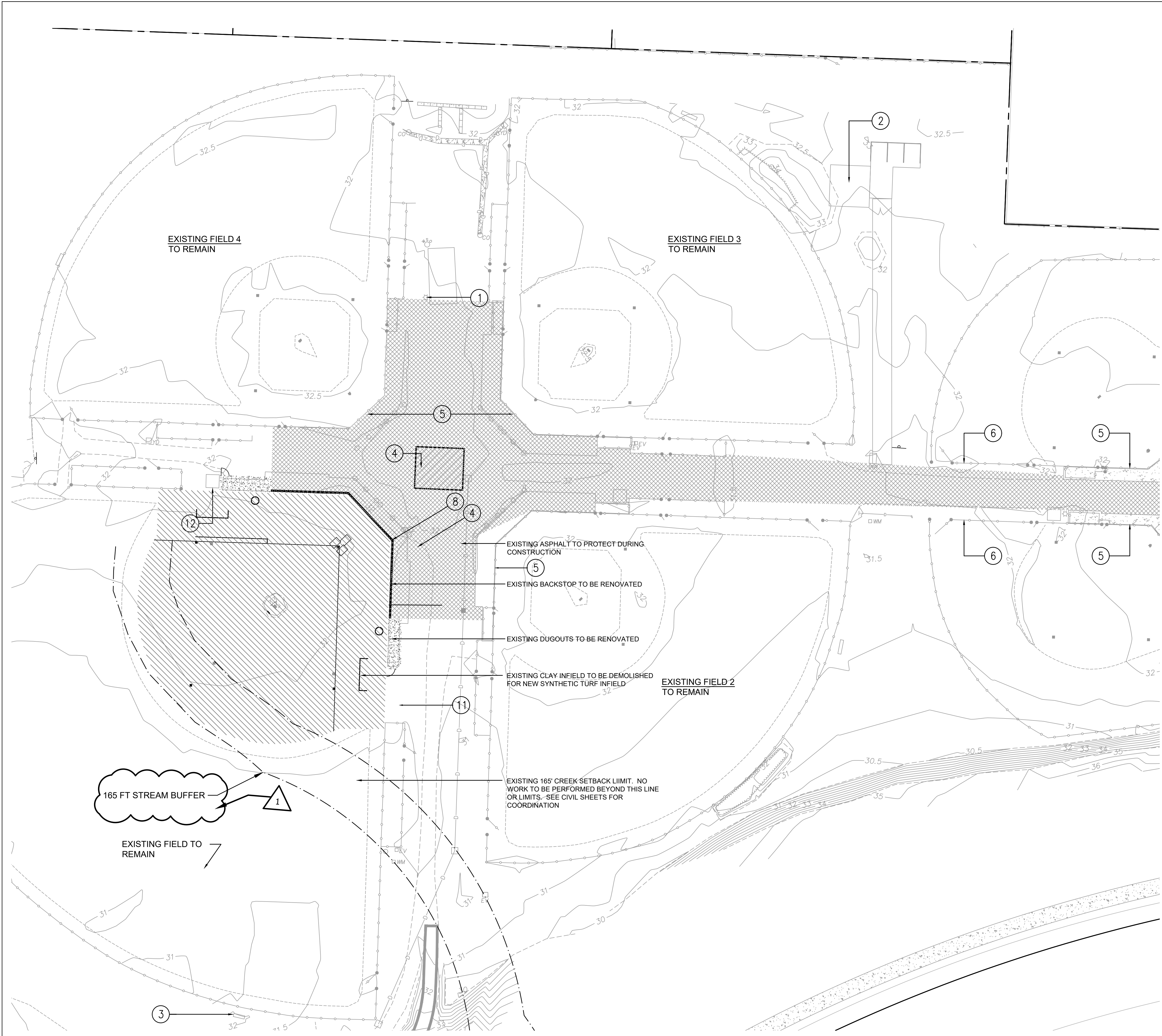
(4) ADA ACCESSIBLE PARKING SPACES - (PAVED)

EXISTING KING COUNTY PARKING LOT TO REMAIN

CALL BEFORE YOU DIG
Call: TOLL FREE
1-800-424-5555

OVERALL SITE PLAN
SCALE: 1"=60'-0"

PERMIT RESUBMITTAL 2-18-2022



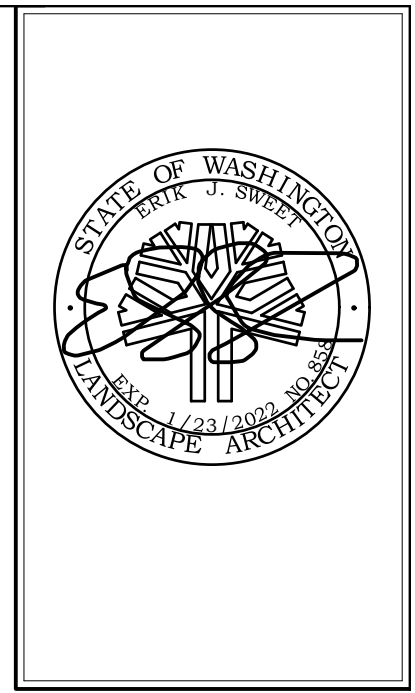
- DEMOLITION/TESC LEGEND**
- PARCEL LINE (PROPERTY LINE)
 - PROPOSED LIMIT OF WORK
 - - - LIMITS OF FIELD RENOVATION
 - x- EXISTING FENCE TO REMOVE
 - [Hatched Box] EXISTING INFIELD TO BE STRIPPED AND HAULED OFF SITE; LIMIT OF WORK TO MATCH SURFACE LAYOUT PLAN & 3' SEED REPAIR OFFSET OF TURF EDGE
 - [Cross-hatched Box] EXISTING ASPHALT TO PROTECT

- DEMOLITION/TESC NOTES**
- ① EXISTING LIGHT POLES TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
 - ② EXISTING RESTROOM BUILDING TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
 - ③ EXISTING SCOREBOARD IN LEFT CENTER TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
 - ④ EXISTING ASPHALT PAVEMENT TO BE PROTECTED. CONTRACTOR SHALL TAKE PICTURES OF ALL AREAS THAT MAY APPEAR DAMAGED AND NOTIFY LANDSCAPE ARCHITECT
 - ⑤ EXISTING BACKSTOP FENCE TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
 - ⑥ EXISTING SIDELINE FENCE/GATES TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
 - ⑦ STRIP AND DISPOSE OF EXISTING NATURAL GRASS FIELDS WHERE NOTED.
 - ⑧ SAWCUT, REMOVE AND DISPOSE OF EXISTING PAVING AS INDICATED
 - ⑨ WHERE NOTED, ADJUST LOCATION OF IRRIGATION HEADS TO NEW EDGE OF SYNTHETIC TURF SYSTEM. COORDINATE WITH OWNERS MAINTENANCE STAFF.
 - ⑩ ANY DAMAGE TO THE AFOREMENTIONED "EXISTING ITEMS" NOTED "TO REMAIN AND BE PROTECTED DURING CONSTRUCTION" TO BE REPLACED AT EQUAL/GREATER VALUE AT CONTRACTOR'S EXPENSE.
 - ⑪ CONTRACTOR TO PROTECT EXISTING SEPTIC TANKS AND SYSTEM ADJACENT TO DUGOUT

- NOTES**
1. SEE SHEET L0 FOR PROJECT LIMITS FOR PERMITS.
 2. CONTRACTOR TO CLEARLY MARK STREAMWETLAND BUFFER AND LEAVE UP FOR LENGTH OF PROJECT.
 3. CONTRACTOR TO TURN OVER IRRIGATION HEADS AND BASES TO OWNER.
 4. COORDINATE NEW CURBING AND INSTALLATION OF BACKSTOP WITH SYNTHETIC TURF CONTRACTOR FOR ATTACHMENT AND INSTALLATION.
 5. EXISTING ASPHALT ACCESS FROM THE EXISTING GRAVEL PARKING LOT SHALL BE RESTORED IF NEEDED AFTER CONSTRUCTION.
 6. CONTRACTOR SHALL PROTECT EXISTING ADA PARKING AT ENTRANCE OF PARK. RESTRIPE EXISTING ASPHALT OF CONSTRUCTION EFFECTS ADA PAINTED LINES MARKS AND LOGOS.
 7. CONTRACTOR SHALL CALL LOCATE FOR ELECTRICAL ON SITE PRIOR TO START OF WORK.
 8. CONTRACTOR TO REVIEW SEPTIC AS-BUILT DRAWINGS TO PROTECT ALL SEPTIC LINES.

(Note to Engineer: This approval signature block not required for cover page.)

KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date



**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14725 NE 145TH ST WOODINVILLE, WA 98072



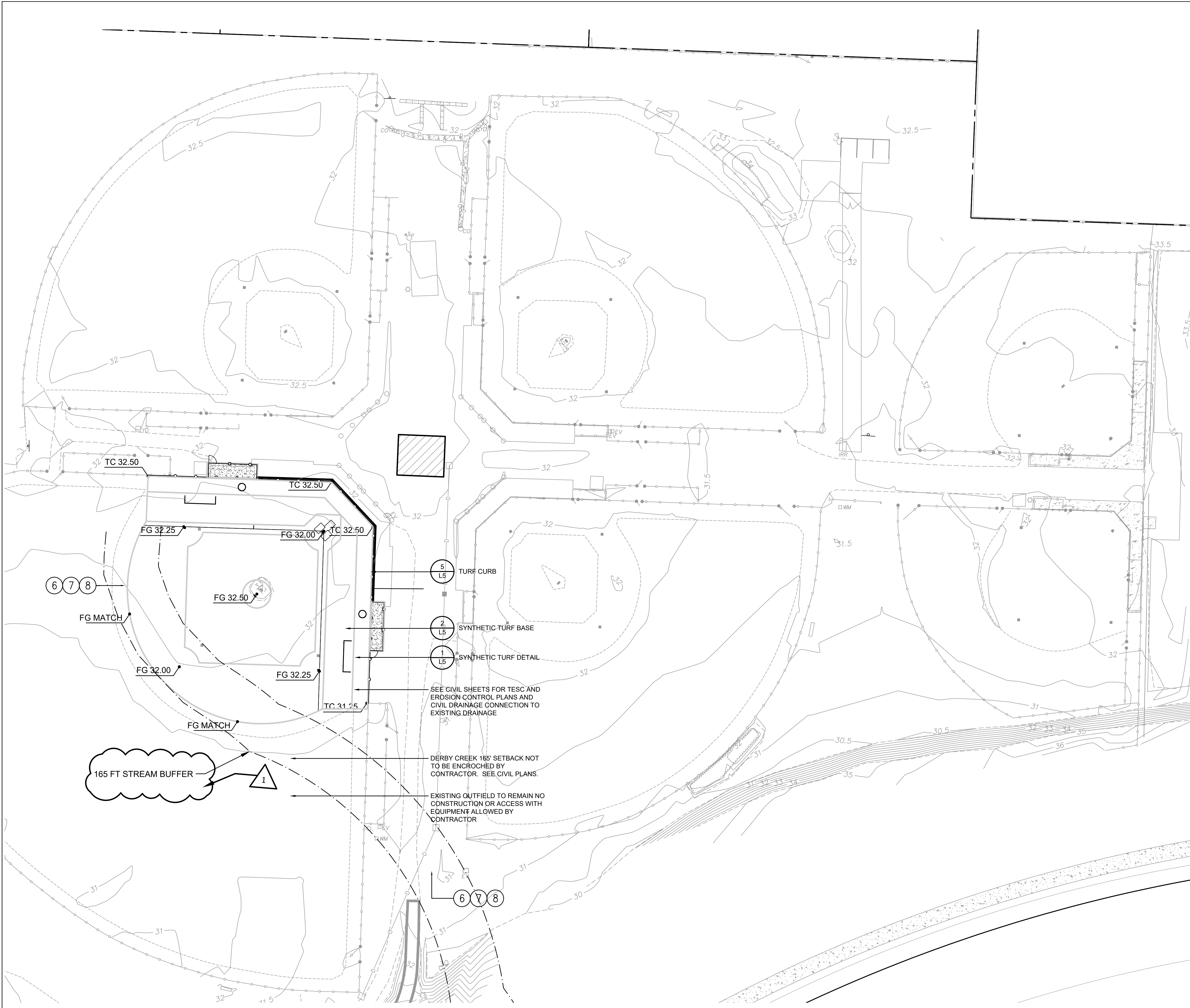
Drawing:
DEMOLITION PLAN

Date: 06/05/2020
Job #: 20025
Scale: NTS
Design: EJSW
Drawn: EJSW
Check: MM
Revisions:

△ PERMIT SET REVISIONS

Sheet:
L1

DEMOLITION PLAN
SCALE: 1" = 30'-0"



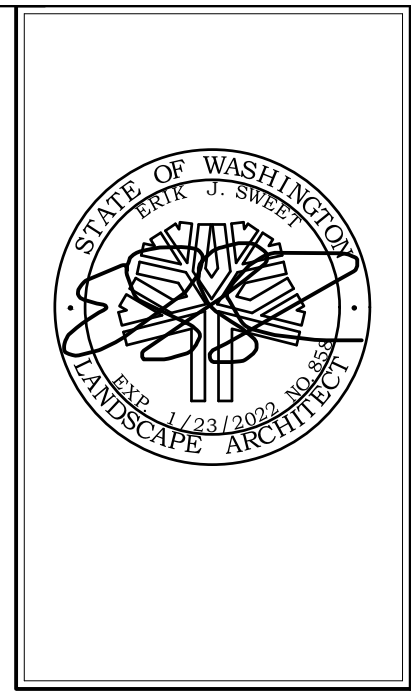
GRADING PLAN
SCALE: 1" = 30'-0"

GRADING LEGEND

	PARCEL LINE (PROPERTY LINE)
	PROPOSED LIMIT OF WORK
	TOP OF CURB SPOT ELEVATION
	FINISH GRADE SPOT ELEVATION
	SUB GRADE SPOT ELEVATION
	PERCENT OF SLOPE OF FINISH GRADE OR PIPE
	DIRECTION OF SLOPE

- GRADING NOTES**
- ① HORIZONTAL CONTROL FOR NORTHINGS AND EASTINGS IS BASED ON THE SURVEY COMPLETED BY EASTSIDE CONSULTANTS. SEE EXISTING SURVEY SHEETS FOR THE CONTROL POINTS.
 - ② FIELD SHALL BE GRADED AT A CONSISTENT SLOPE NOT LESS THAN 0.75% AS INDICATED ON DRAWINGS.
 - ③ NOTIFY DESIGNER OF RECORD OF ANY SOFT SUBSOILS WHILE GRADING.
 - ④ HORIZONTAL CONTROL AND ALL GRADING IS BASED UPON THE APEX OF HOMEPLATE.
 - ⑤ ALL CONCRETE CURBING SHALL BE INSTALLED AND ALLOWED TO PROPERLY CURE PRIOR TO NAILER PLACEMENT.
 - ⑥ GRADE ALL AREAS OUTSIDE OF FIELD IN TRANSITION AREA AT A CONSISTENT GRADE.
 - ⑦ ALL AREAS OUTSIDE FIELD TO RECEIVED 2" DEPTH OF TOPSOIL.
 - ⑧ PLACE SOD 10' FROM CONCRETE CURBING. ALL OTHER AREAS OF DISTURBANCE CAN BE SEEDED.

- NOTES**
1. CONTRACTOR SHALL NOT ENCR OACH INTO 165' DERBY CREEK SETBACK AREA DURING CONSTRUCTION.
 2. CONTRACTOR SHALL SEE AND MAINTAIN ALL TESC AND CONSTRUCTION FENCE PER CIVIL PLANS AND INSTALL ORANGE CONSTRUCTION FENCE AT CREEK SETBACK LIMITS.
 3. ALL CONSTRUCTION GRADING TO BE COMPLETED BY MEANS OF AUTOMATED DOZER AND LASER CONTROL BY SPORTS FIELD SPECIALTY CONTRACTOR.
 4. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND CIVIL ENGINEER OF ANY DISCREPANCIES IN GRADING PLAN.
 5. CONTRACTOR SHALL REMOVE ANY AND ALL CONSTRUCTION DEBRIS FROM THE FIELD AREAS AND MAINTAIN A CLEAN SITE ON ALL EXISTING ASPHALT FOR USAGE OF FACILITY BY OWNER.
 6. FOLLOW ALL CLEARING AND GRADING PERMIT REQUIREMENTS FROM KING COUNTY.



**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14725 NE 145TH ST WOODINVILLE, WA 98072



Drawing:
GRADING PLAN

Date: 06/05/2020
Job #: 20025
Scale: 1"=30'-0"
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

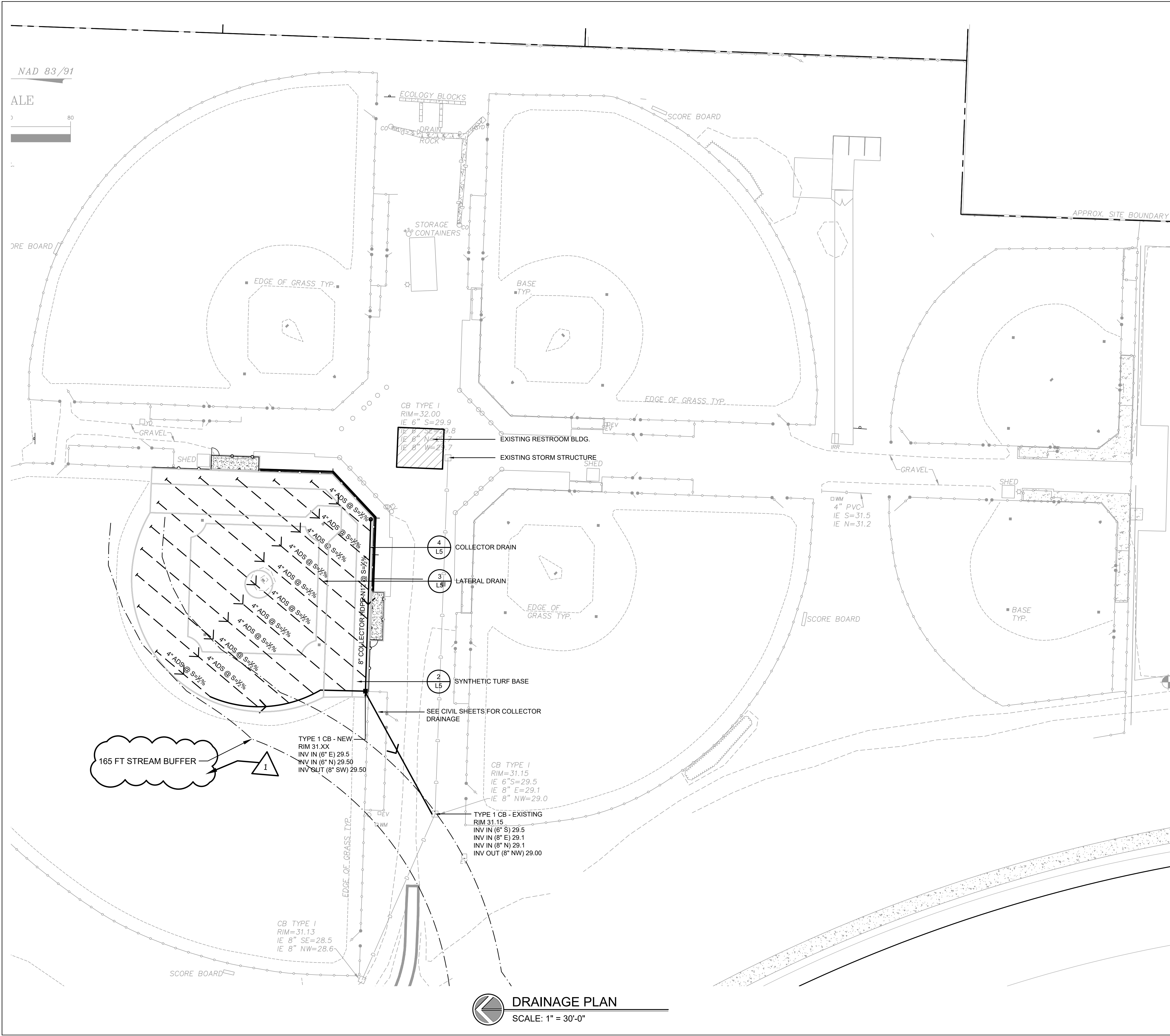
PERMIT SET REVISIONS

(Note to Engineer: This approval signature block not required for cover page.)

KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date

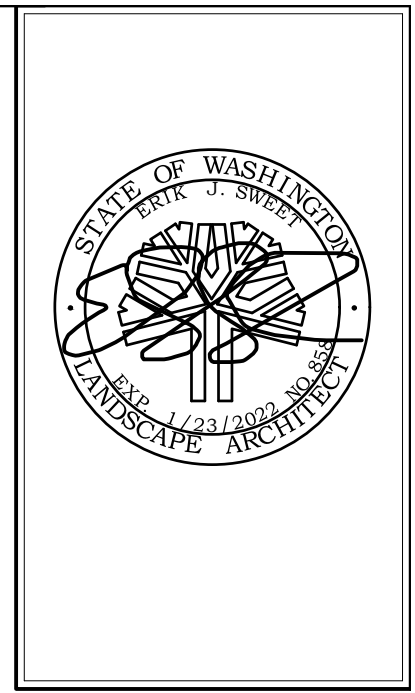
Sheet:

L2
7 OF 13



DRAINAGE LEGEND

	PARCEL LINE (PROPERTY LINE)
	PROPOSED LIMIT OF WORK
	COLLECTOR PIPE CONNECTED TO EXISTING STORM WATER BASIN
	FIELD DRAIN LATERAL- TYP
	EXISTING CATCH BASIN
	CATCH BASIN
	COLLECTOR DRAIN CLEAN OUT
$S = 0.33\%$	PERCENT OF SLOPE OF FINISH GRADE OR PIPE



**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14735 NE 145TH ST WOODINVILLE, WA 98072



Drawing:
**DRAINAGE
PLAN**

Date: 06/05/2020
Job #: 20025
Scale: 1"=30'-0"
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

PERMIT SET REVISIONS

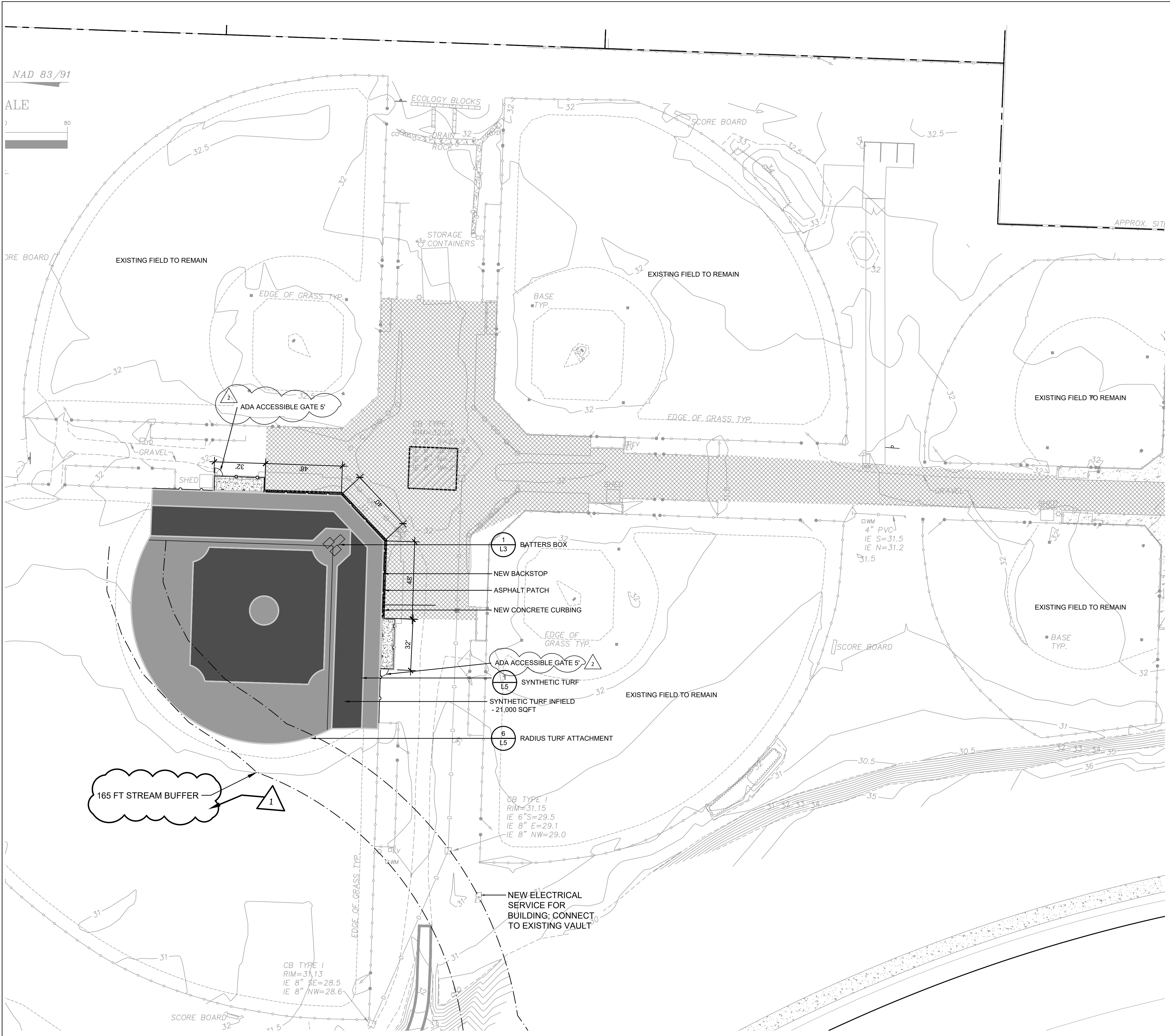
Sheet:

L3

(Note to Engineer: This approval signature block not required for cover page.)

KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date

DRAINAGE PLAN
SCALE: 1" = 30'-0"

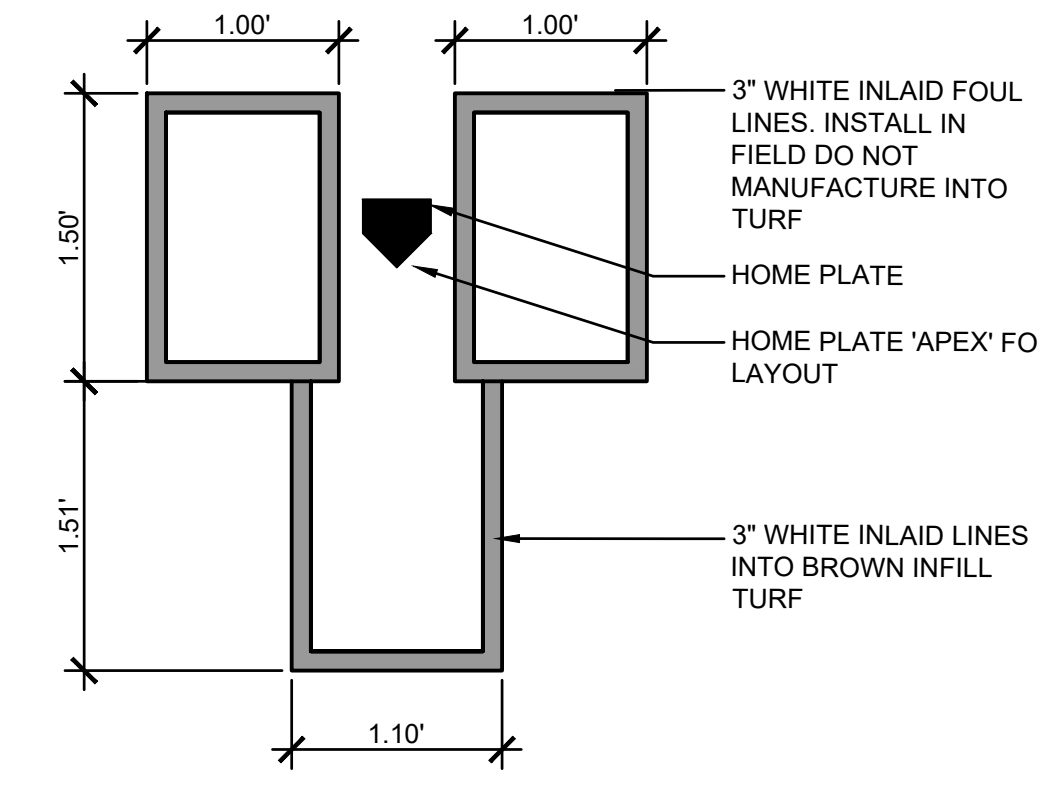


SURFACING LEGEND

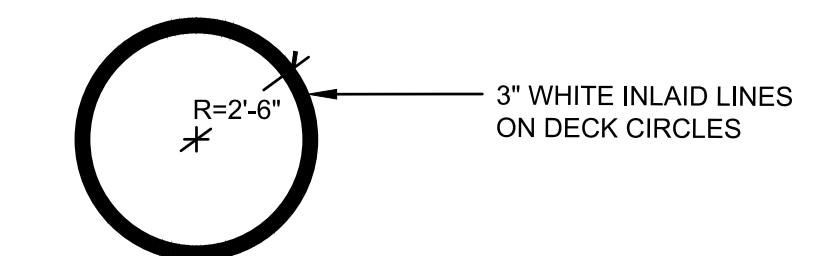
- PARCEL LINE (PROPERTY LINE)
- - - PROPOSED LIMIT OF WORK
- [Hatched Box] SOD RESTORATION AREA
- [Light Gray Box] BROWN SYNTHETIC TURF SURFACING
- [Dark Gray Box] GREEN SYNTHETIC TURF SURFACING
- [Black Box] ASPHALT PATCH
- WHITE FIELD STRIPING LINES

SURFACING NOTES

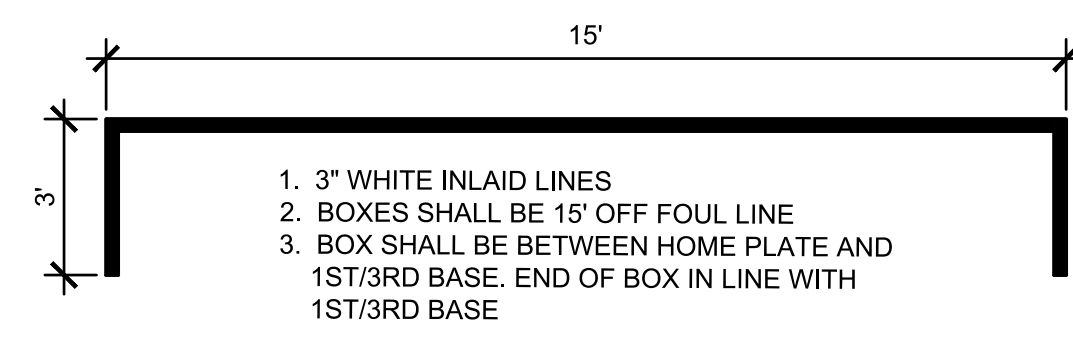
- ① ALL OUTFIELD NATURAL GRASS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. RESTORE/REPAIR TO EXISTING CONDITION THEREAFTER IF NECESSARY.
- ② ALL LINES SHALL BE 3" WIDTH WHITE IN COLOR INLAID IN THE TURF
- ③ ALL INFIELD SYNTHETIC TURF SHALL BE GREEN OR BROWN IN COLOR PER PLANS.
- ④ ALL INFILL SHALL BE A SAND AND RUBBER MIX



1 BATTER'S/ CATCHER'S BOX
NTS



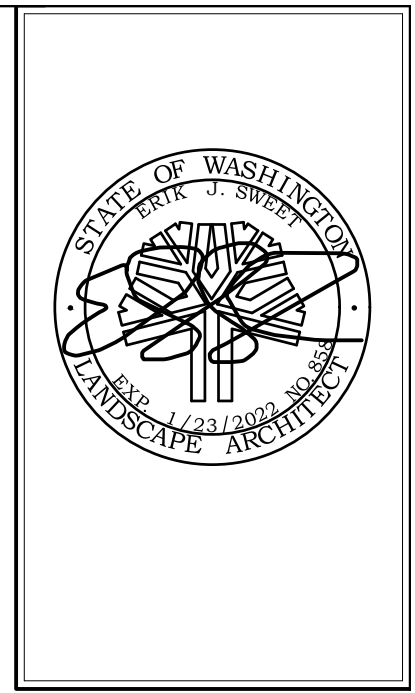
2 ON DECK CIRCLE
NTS



3 COACHES BOX
NTS

NOTES

1. SEE SHEET L0 FOR PROJECT LIMITS FOR SEPA REVIEW AND PERMITS.



**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14725 NE 145TH ST WOODINVILLE, WA 98072



Drawing:
**SURFACE LAYOUT
PLAN**

Date: 06/05/2020
Job #: 20025
Scale: 1"=30'-0"
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

PERMIT SET REVISIONS

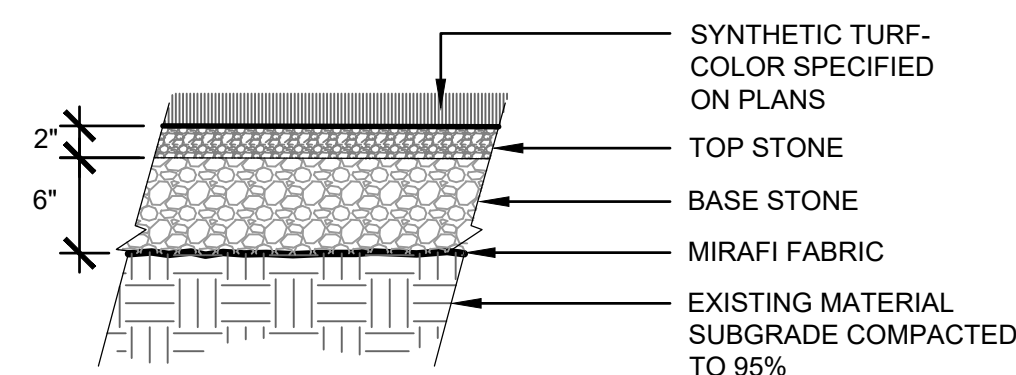
Sheet:

L4

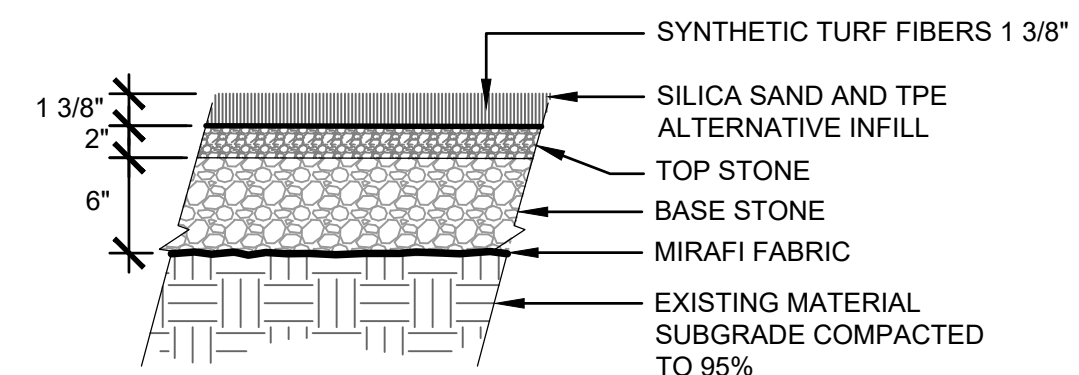


PERMIT RESUBMITTAL 2-18-2022

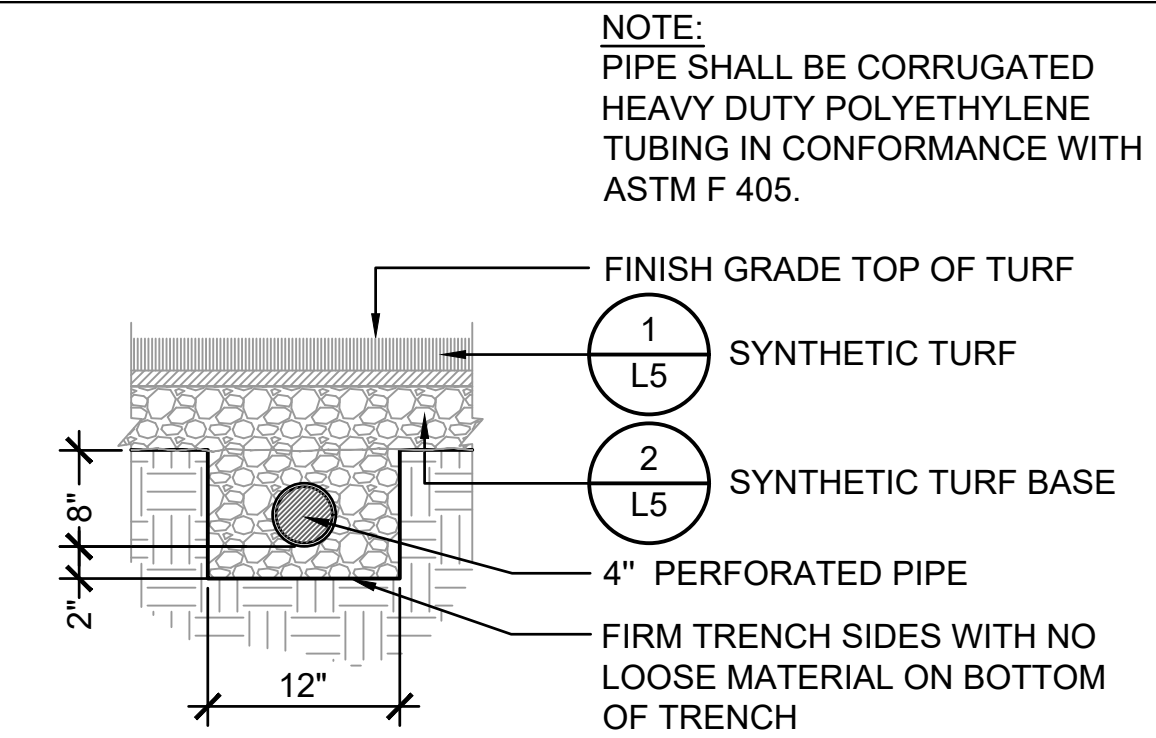
SURFACE LAYOUT PLAN
SCALE: 1" = 30'-0"



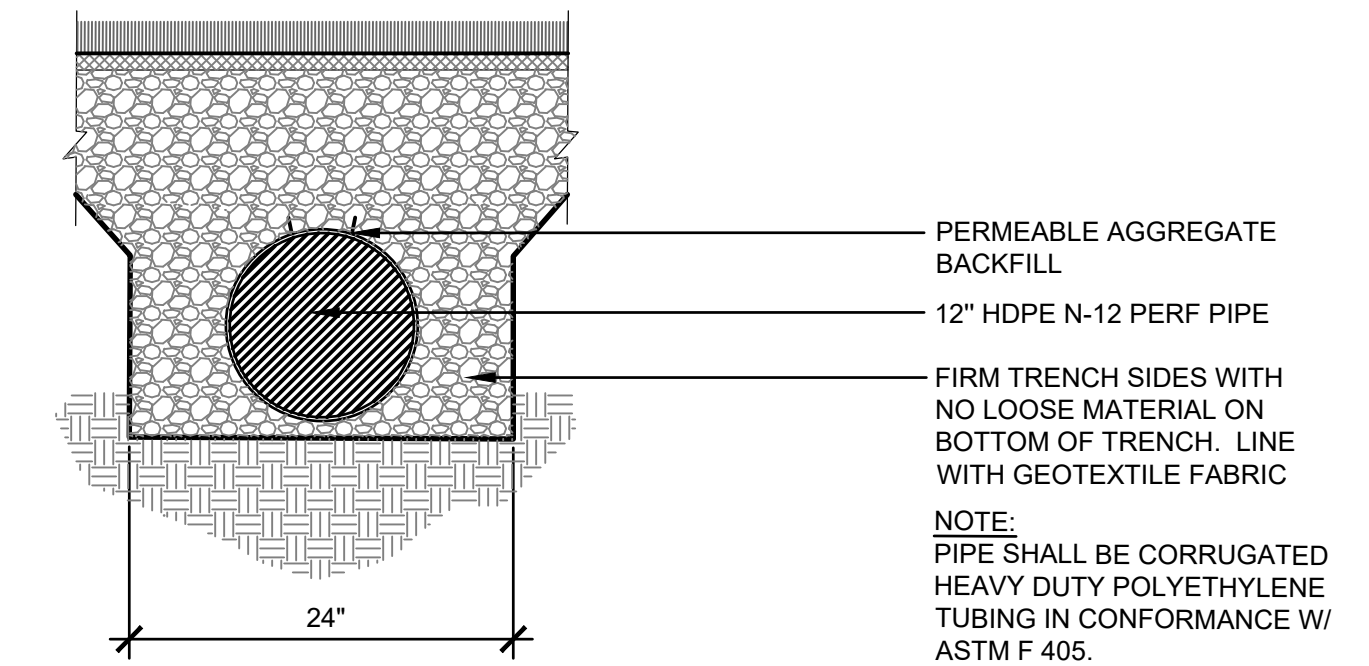
1 SYNTHETIC TURF DETAIL
NTS



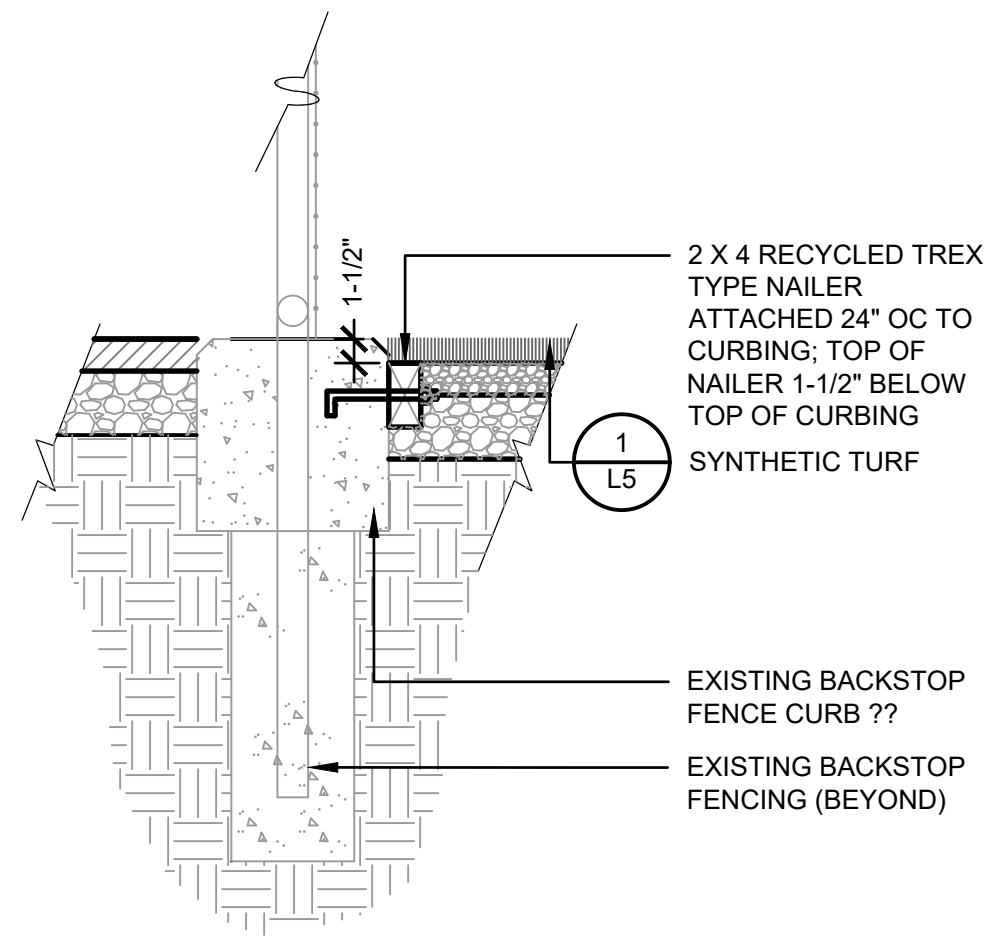
2 SYNTHETIC TURF BASE CROSS SECTION
NTS



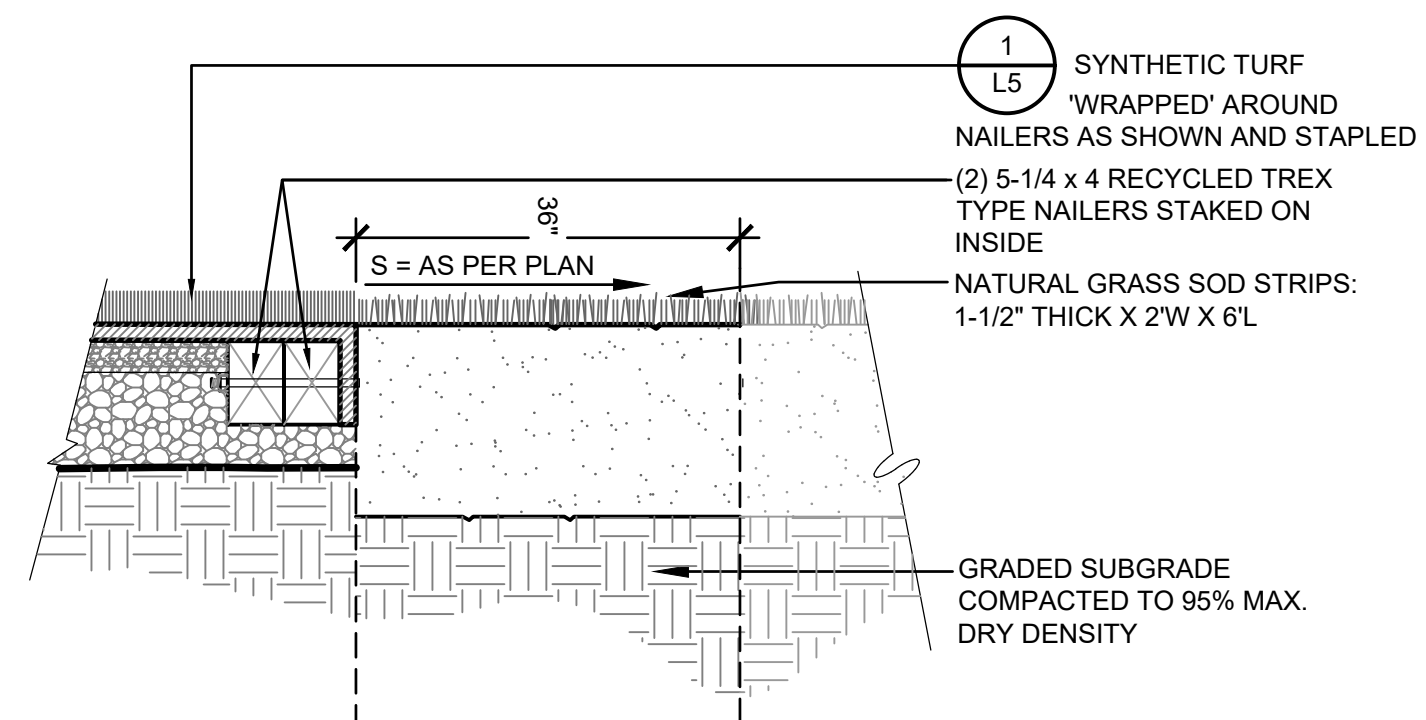
3 LATERAL DRAIN LINE
NTS



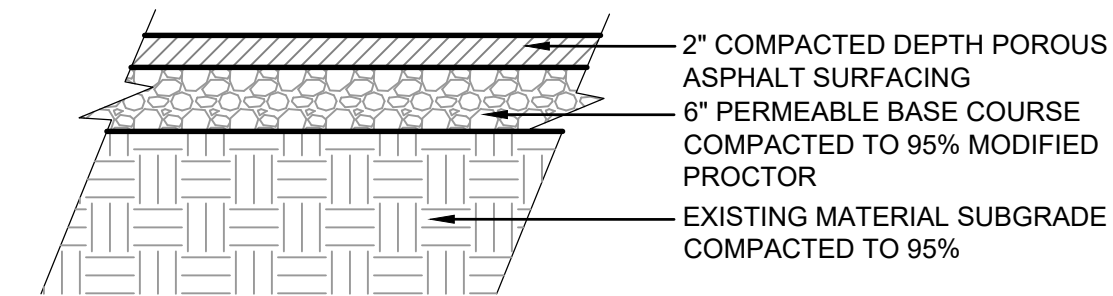
4 COLLECTOR DRAIN - SYNTHETIC TURF
NTS



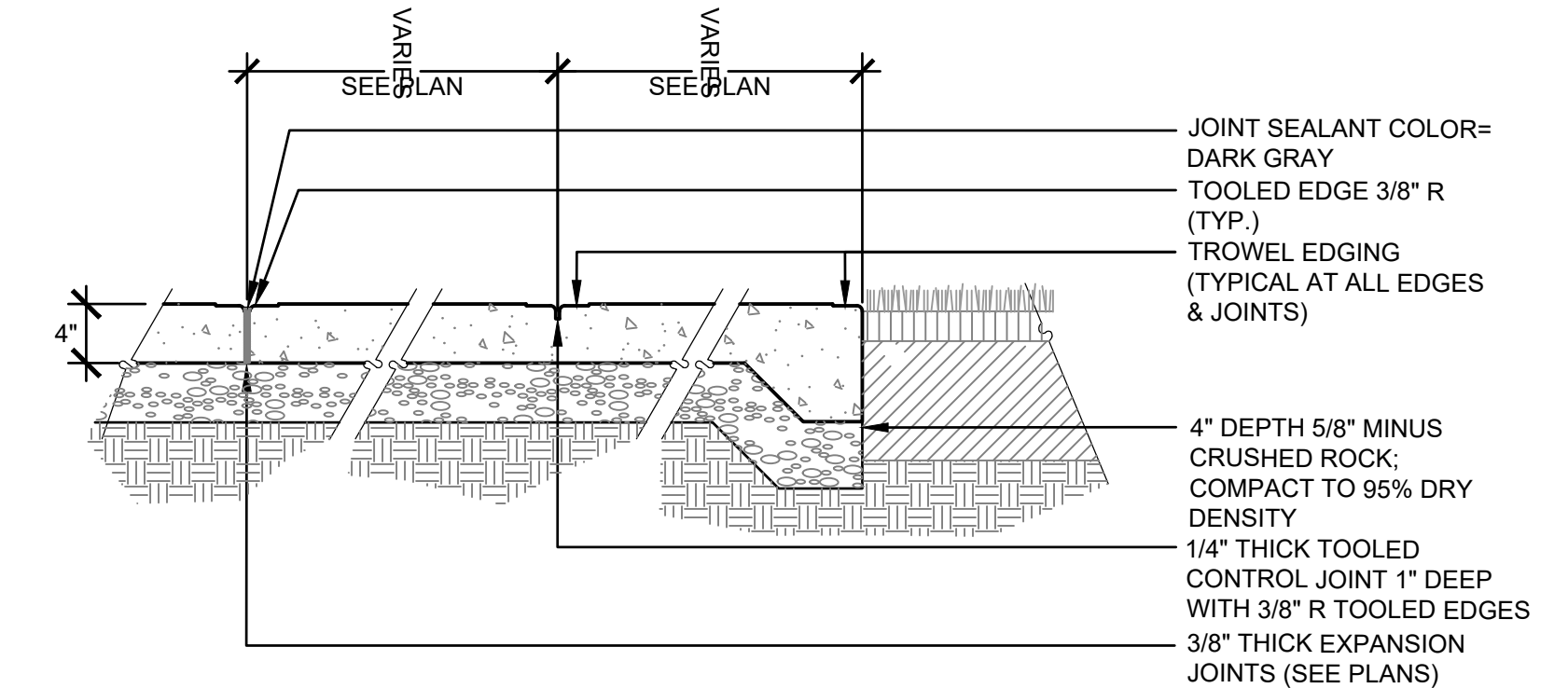
5 FENCE POST FOOTING - NON NET POST
NTS



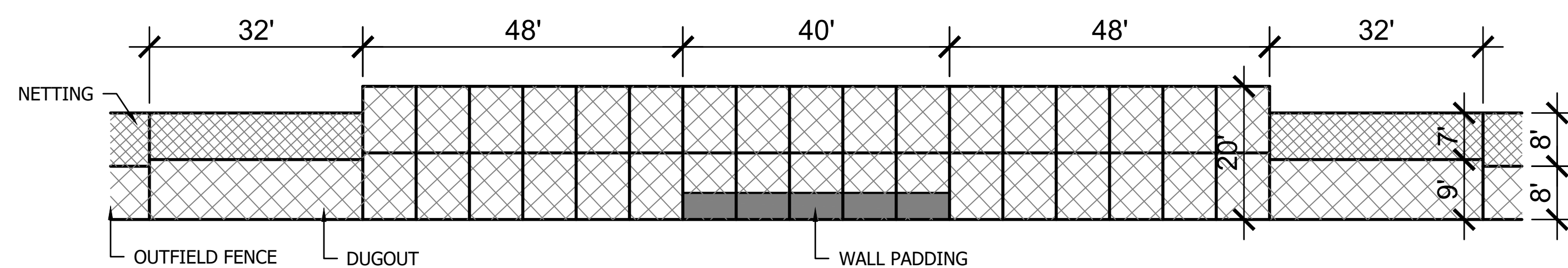
6 TURF ATTACHMENT - INFIELD RADIUS
NTS



7 ASPHALT PATCH DETAIL
NTS



8 CONCRETE PAVING & JOINT DETAILS
NTS



9 BASEBALL BACKSTOP LAYOUT
SCALE: NTS

(Note to Engineer: This approval signature block not required for cover page.)

KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date



NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS
NORTHSHORE ATHLETIC FIELDS CORPORATION
14725 NE 145TH ST WOODINVILLE, WA 98072

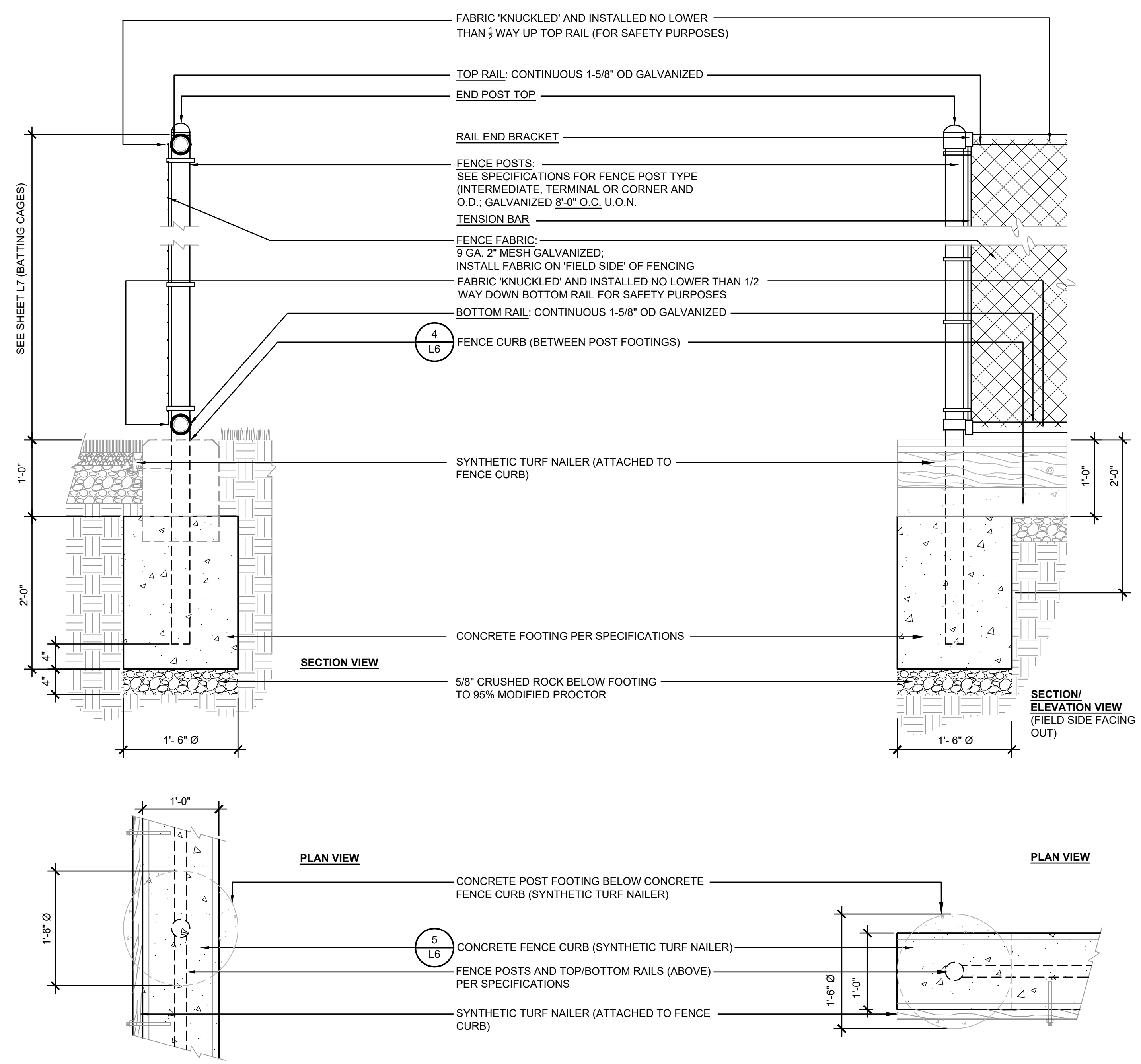
SANDERSON STEWART
Enduring Community Design

Drawing:
FIELD DETAILS

Date: 06/05/2020
Job #: 20025
Scale: NTS
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

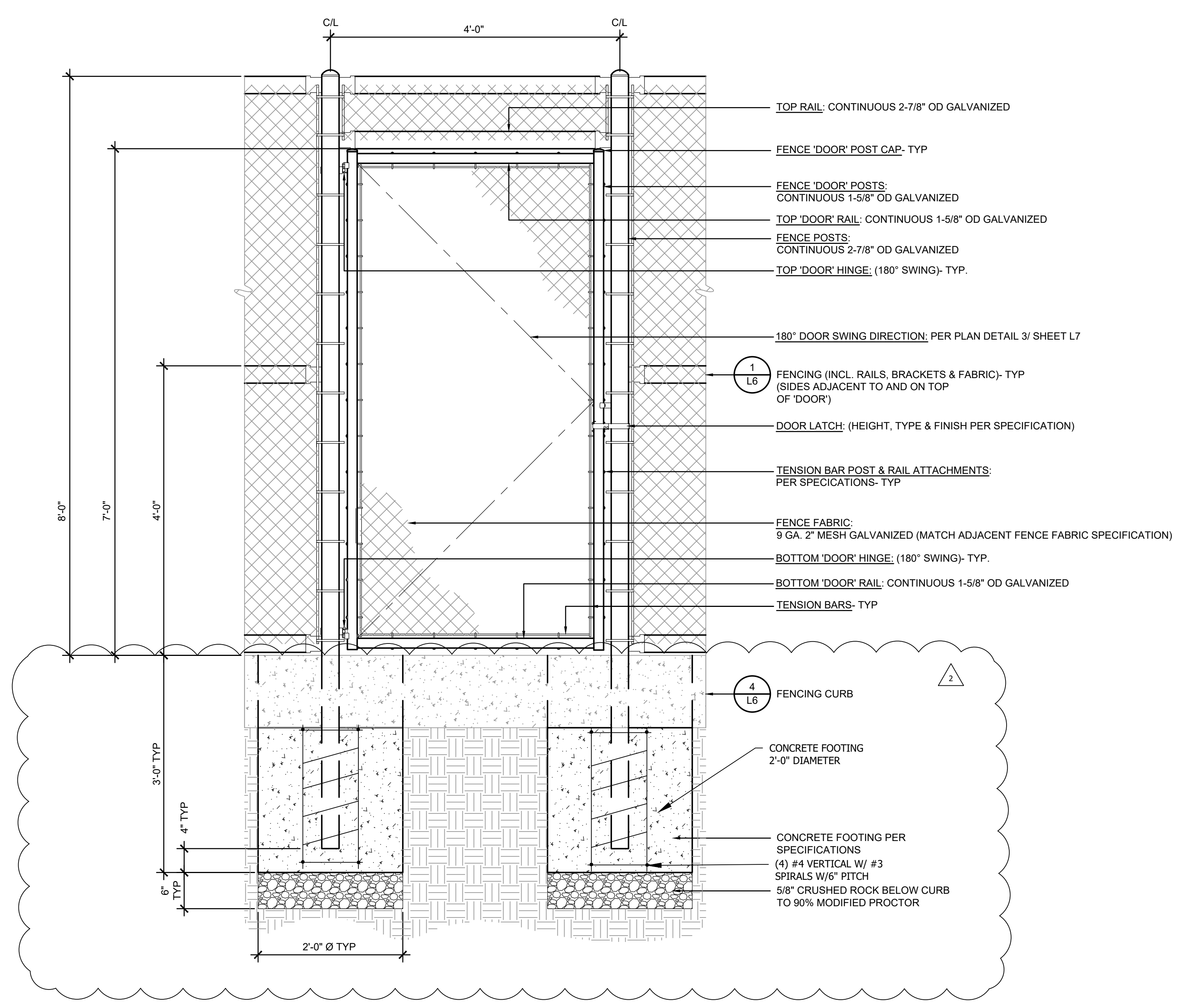
PERMIT SET REVISIONS

Sheet:
L5

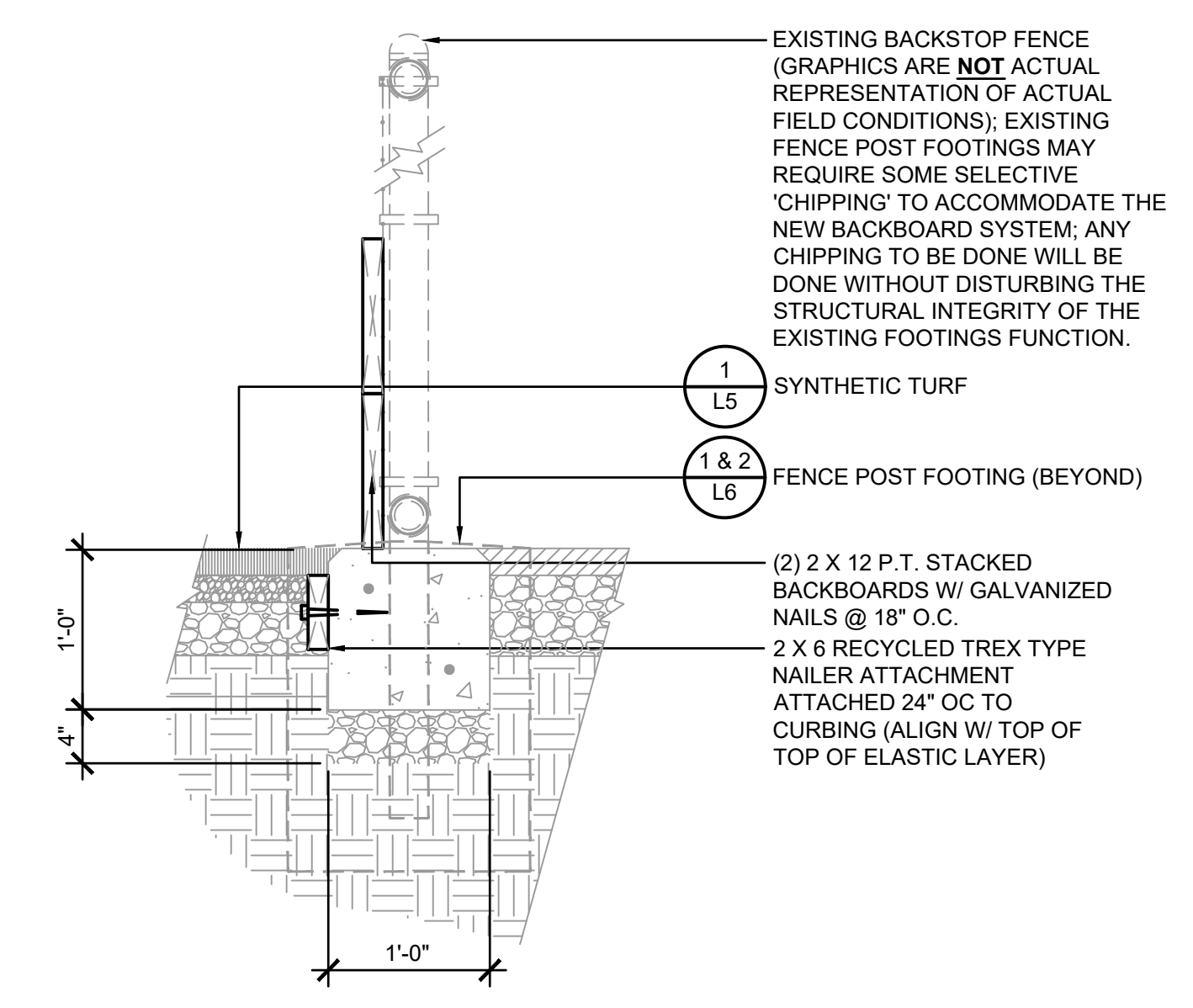


1 FENCE & FOOTING- SECTION & PLAN
NTS

2 FENCE & FOOTING- SECT. /ELEV./ PLAN
NTS



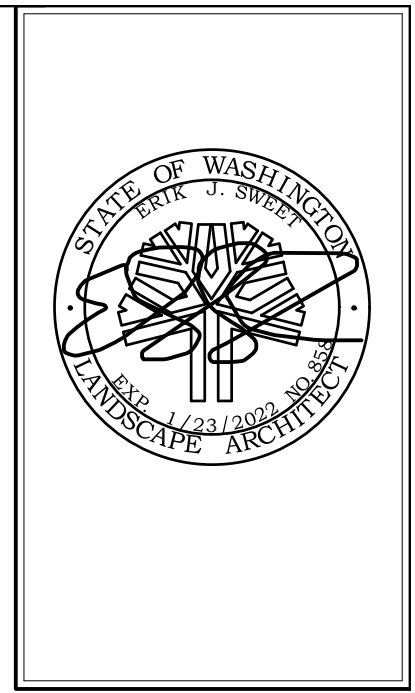
3 GATE & FOOTINGS- SECTION /ELEVATION
NTS



4 NEW SYN. TURF NAILER @ EXISTING BACKSTOP FENCE & NEW 12"W CURB- SECTION
NOT TO SCALE

(Note to Engineer: This approval signature block not required for cover page.)

KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date



**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14725 NE 145TH ST WOODINVILLE, WA 98072

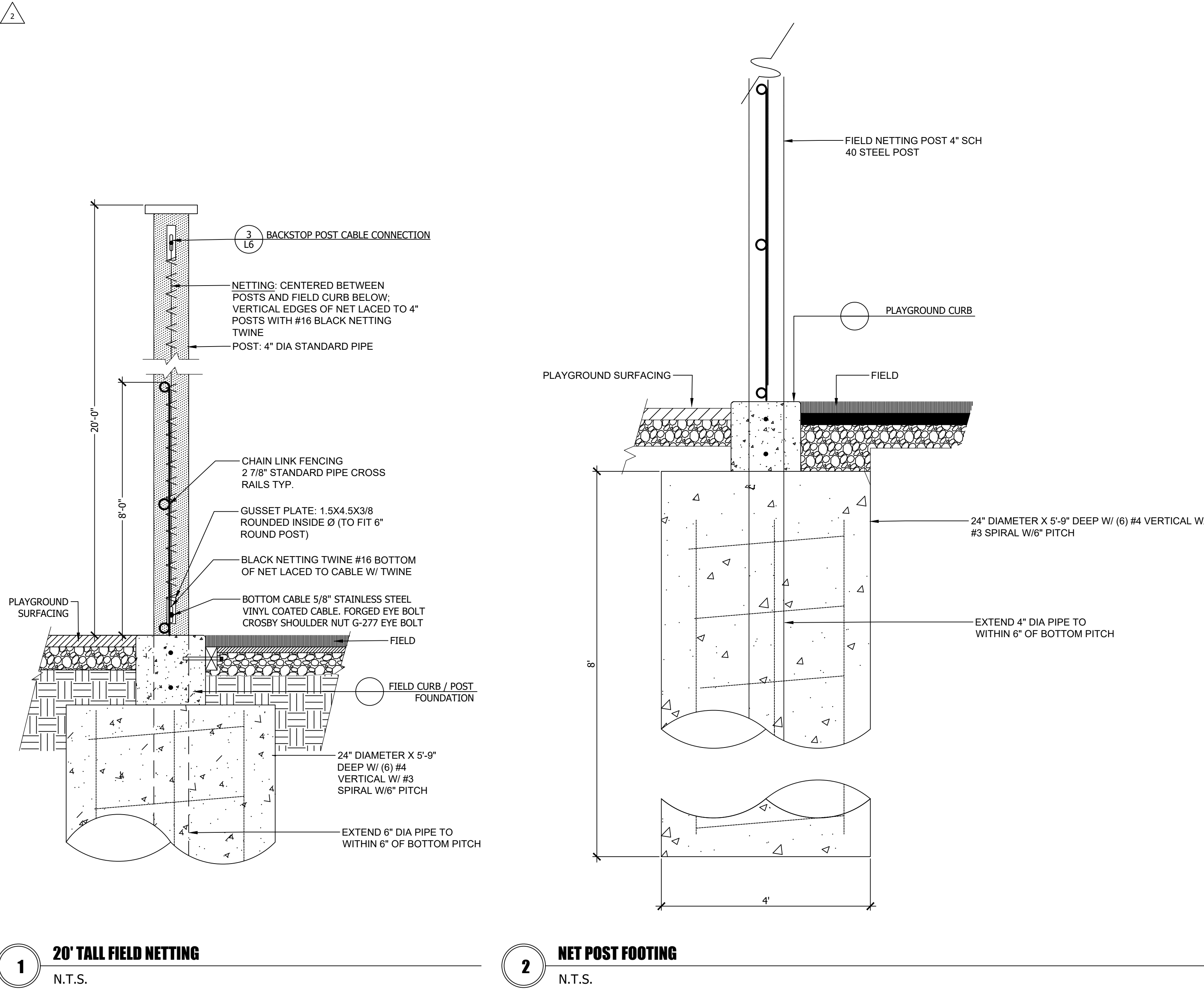


Drawing:
FIELD DETAILS

Date: 06/05/2020
Job #: 20025
Scale: NTS
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

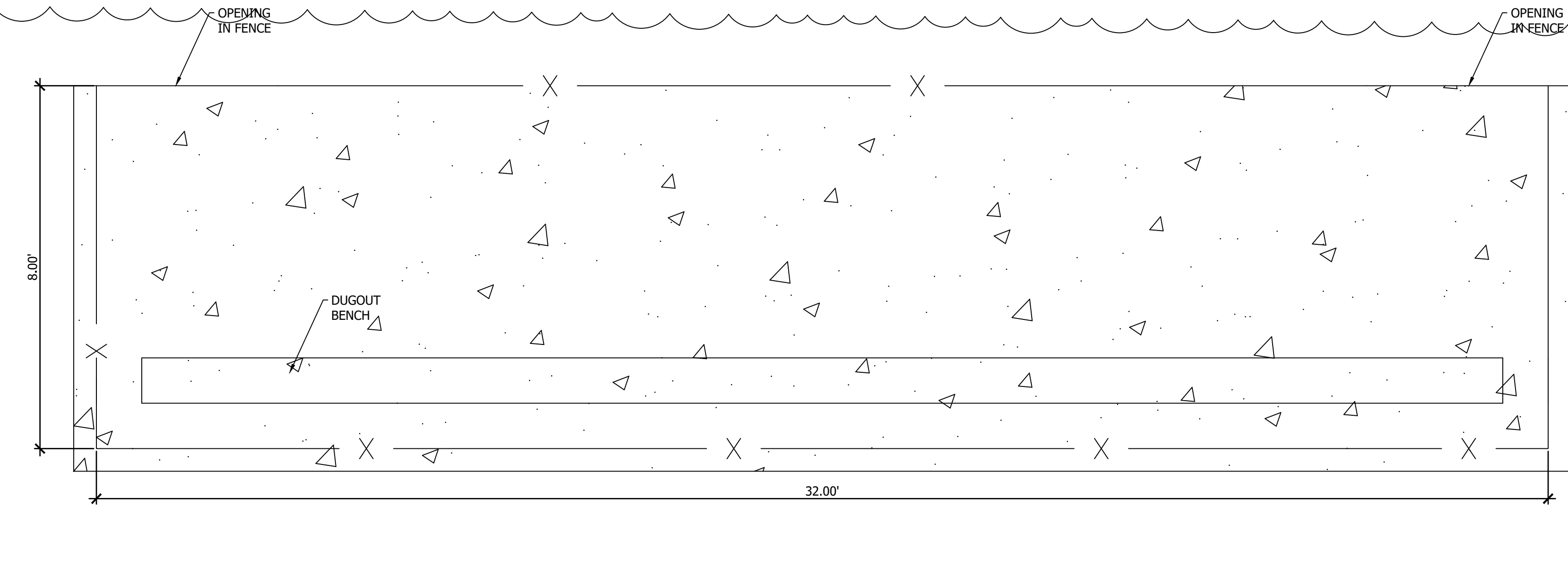
PERMIT SET REVISIONS

Sheet:
L6

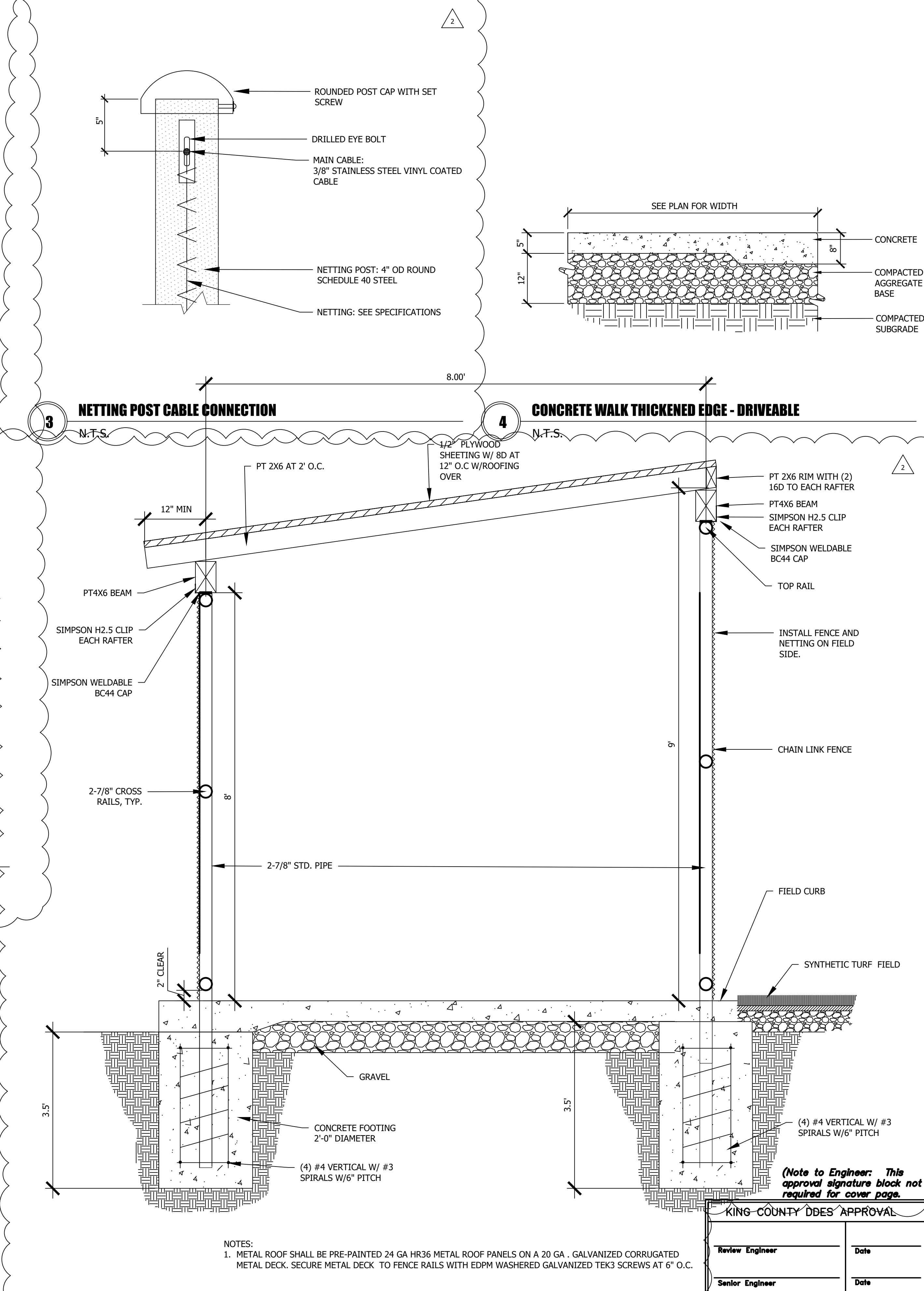


1 20' TALL FIELD NETTING
N.T.S.

2 NET POST FOOTING
N.T.S.



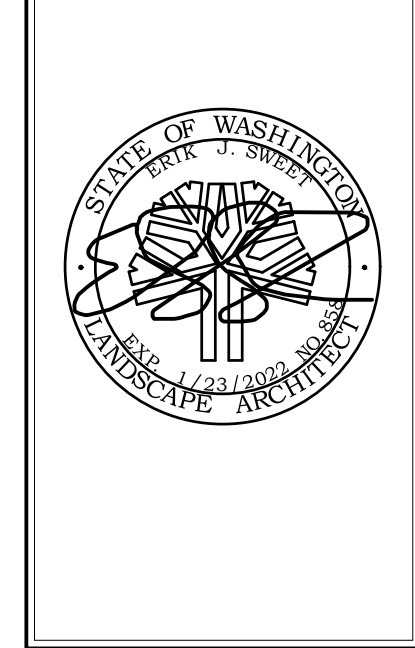
5 DUGOUT - PLAN
N.T.S.



3 NETTING POST CABLE CONNECTION
N.T.S.

4 CONCRETE WALK THICKENED EDGE - DRIVEABLE
N.T.S.

6 DUGOUT-ELEVATION
N.T.S.



**NORTSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTSHORE ATHLETIC FIELDS CORPORATION
14735 NE 145TH ST WOODINVILLE, WA 98072

**SANDERSON
STEWART**
Enduring Community Design

Drawing:
**FIELD
DETAILS**

Date: 06/05/2020
Job #: 20025
Scale: NTS
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

1 PERMIT SET REVISIONS
2 PERMIT SET REVISIONS

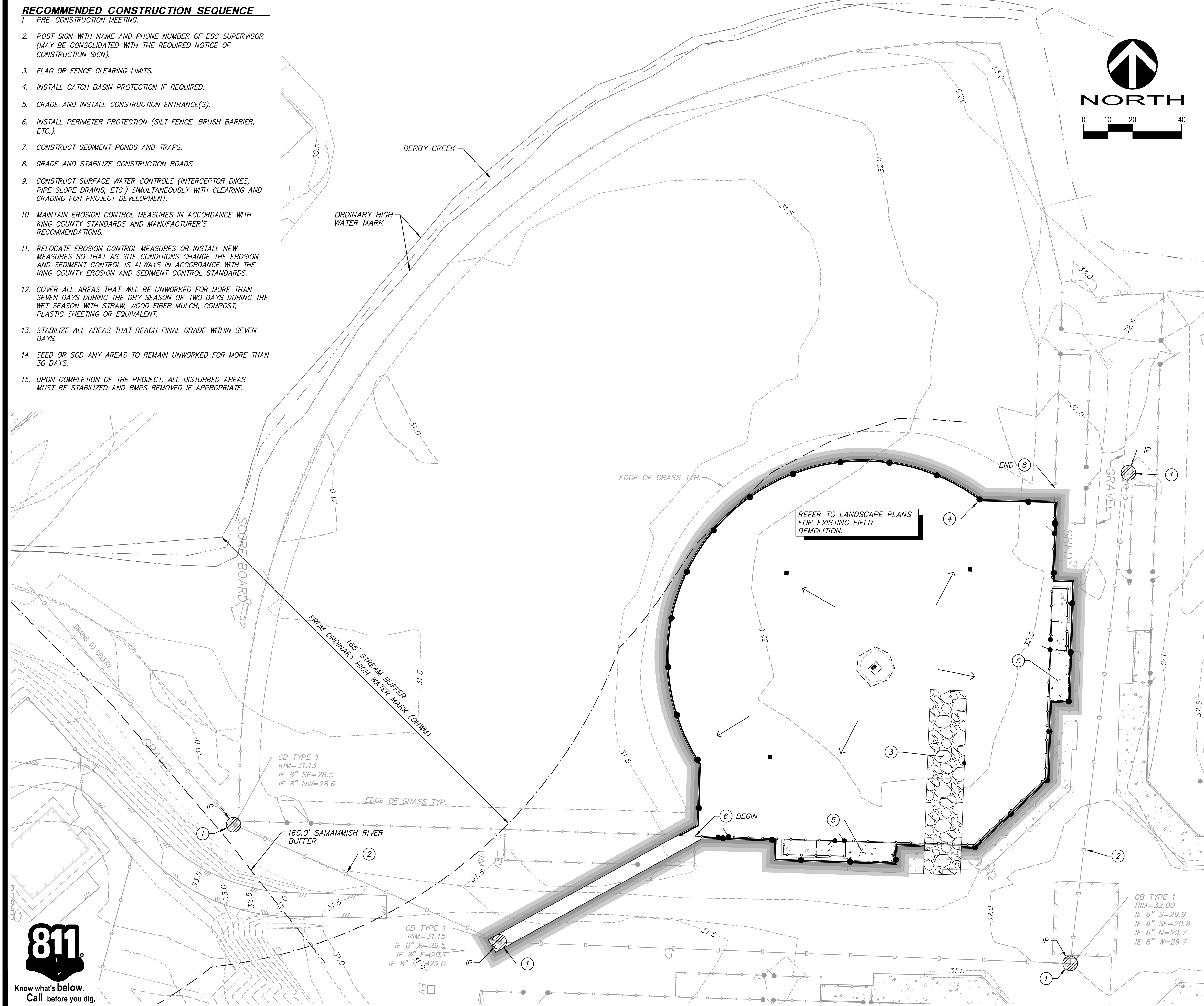
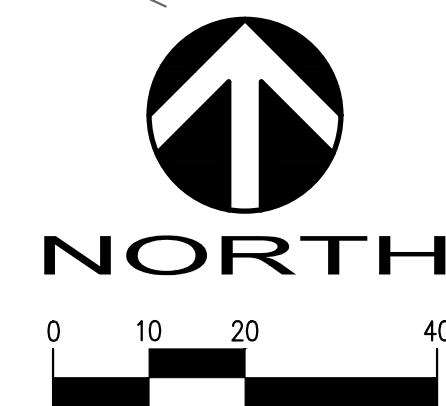
KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date

Sheet:
L7

A PORTION OF SE 1/4 SEC. 15, TWP. 26 N., RGE. 5 E., W.M.

RECOMMENDED CONSTRUCTION SEQUENCE

1. PRE-CONSTRUCTION MEETING.
2. POST SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR (MAY BE CONSOLIDATED WITH THE REQUIRED NOTICE OF CONSTRUCTION SIGN).
3. FLAG OR FENCE CLEARING LIMITS.
4. INSTALL CATCH BASIN PROTECTION IF REQUIRED.
5. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
6. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
7. CONSTRUCT SEDIMENT PONDS AND TRAPS.
8. GRADE AND STABILIZE CONSTRUCTION ROADS.
9. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
10. MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH KING COUNTY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
11. RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE KING COUNTY EROSION AND SEDIMENT CONTROL STANDARDS.
12. COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT.
13. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.
14. SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
15. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BMPs REMOVED IF APPROPRIATE.



LEGAL DESSCIPTION

POR OF S 1/2 OF SW 1/4 LESS POR LYING WLY OF E LN OF SAMM WATERWAY LESS E 287.15 FT LESS E 387.15 FT OF S 485 FT LESS RD TGW 100 FT STRIP ELY OF & CONCENTRIC TO ELY LN OF SAMM WATERWAY IN N 1/2 & NW 1/4 OF SE 1/4 OF SD SEC TGW POR SD SE 1/4 ELY OF & CONCENTRIC WITH & 50 FT WLY OF SWLY LN OF SAMM WATERWAY LESS POR SD 50 FT STRIP LYING NLY OF SLY LN OF LOT 2 OF KCSP 1281011 REC #8203120543 LESS RD LESS P/L R/W LESS POR PER REC #20100211000595 EXEMPT FROM THE SOUND TRANSIT/RTA PROPERTY TAXES PER SB 6475

TESC/DEMO LEGEND

	INLET PROTECTION	1 C1.1
	CLEARING LIMITS	
	CONSTRUCTION ENTRANCE	2 C1.1
	CEMENT CONCRETE REMOVAL	
	EXISTING FLOW DIRECTION	
	FULL DEPTH SAWCUT (TYP)	
	SILT FENCE	3 C1.1

TESC/DEMO KEY NOTES:

- 1 CATCH BASIN INLET SEDIMENT PROTECTION.
- 2 PROTECT ALL EXISTING UTILITIES UNLESS OTHERWISE NOTED.
- 3 STABILIZED CONSTRUCTION ENTRANCE.
- 4 INSTALL SILT FENCE.
- 5 REMOVE APPROXIMATELY 470 Sq. Ft TOTAL OF EXISTING CEMENT CONCRETE.
- 6 REMOVE EXISTING FENCING.

CLEARING TABLE:

AREA TO BE CLEARED: 19,414 Sq. Ft. - 13.3%
 TOTAL SITE AREA: 1,458,979 Sq. Ft. - 100% (UNDISTURBED)

DEMOLITION NOTES

1. DEMOLISH ALL ITEMS WITHIN CLEARING LIMITS EXCEPT AS NOTED.
2. CONTRACTOR TO LOCATE ALL EXISTING UTILITIES AND PROTECT ALL UTILITIES NECESSARY TO SUPPORT CONTINUED OPERATIONS.
3. CONTRACTOR TO CONFIRM INVERT ELEVATIONS.

LOCATIONS OF EXISTING FEATURES ARE BASED ON SURVEY PROVIDED BY EASTSIDE CONSULTANTS, INC. DATED DECEMBER 2013. ADDITIONAL SURVEY OF DERBY CREEK AND BUFFERS PROVIDED BY PARAMETRIX. DATE OF SURVEY IS UNDETERMINED. CONTRACTOR TO CONFIRM EXISTING FEATURES, RIMS AND INVERT ELEVATIONS PRIOR TO STARTING WORK.

DAVID EVANS AND ASSOCIATES INC.
 2106 Pacific Ave Suite 400
 Tacoma Washington 98402
 Phone: 253.922.9780

TESC & DEMOLITION PLAN
 SLA LANDSCAPE ARCHITECTS
 NORTSHORE ATHLETIC FIELDS
 KING COUNTY WA

REVIEWED BY:	MAP	DATE	REVISION
NO.	DATE	BY	DATE

PERMIT SET

1/13/20
 T. J. BENNETT
 REGISTERED PROFESSIONAL ENGINEER

STAMP NOT VALID UNLESS SIGNED AND DATED

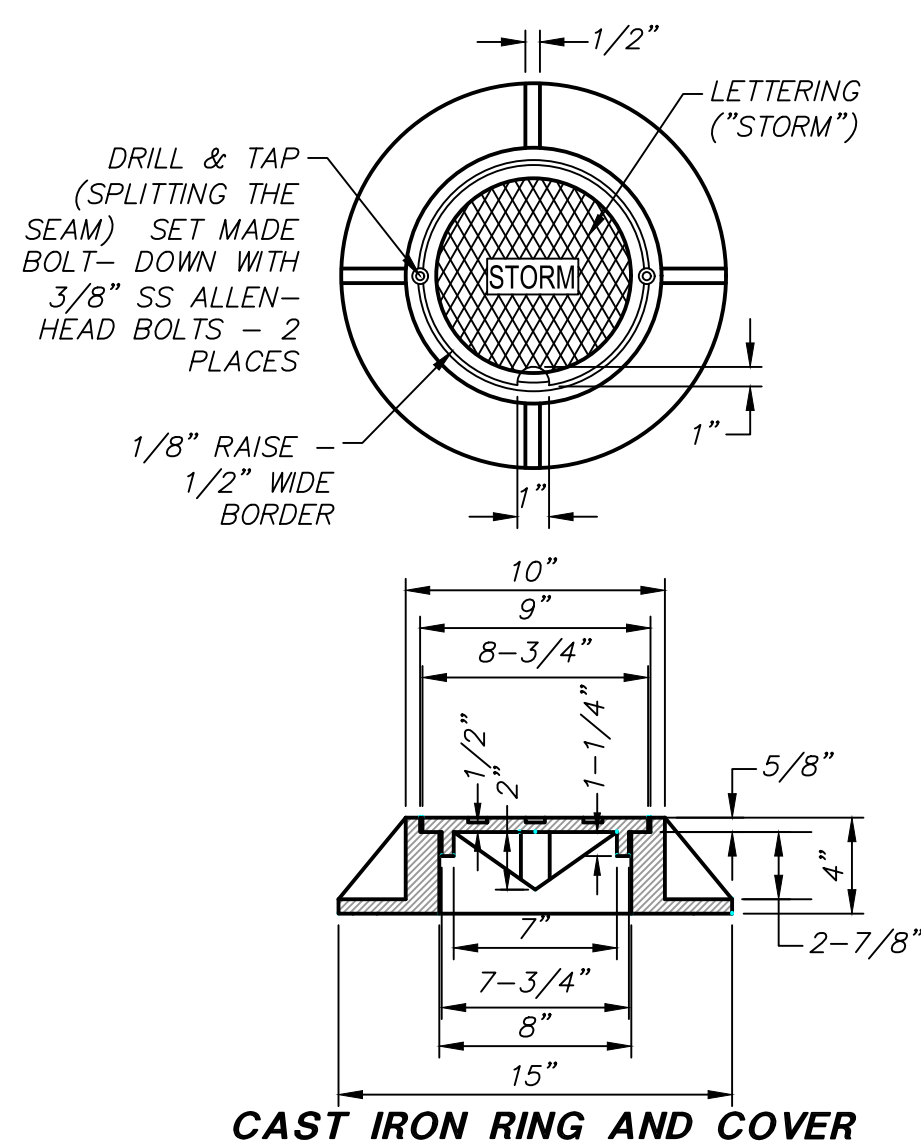
FIRST SUBMITTAL DATE: 01/13/2020
 SCALE: HORIZ: --- VERT: ---

PROJECT NO.
 SLAL00000004

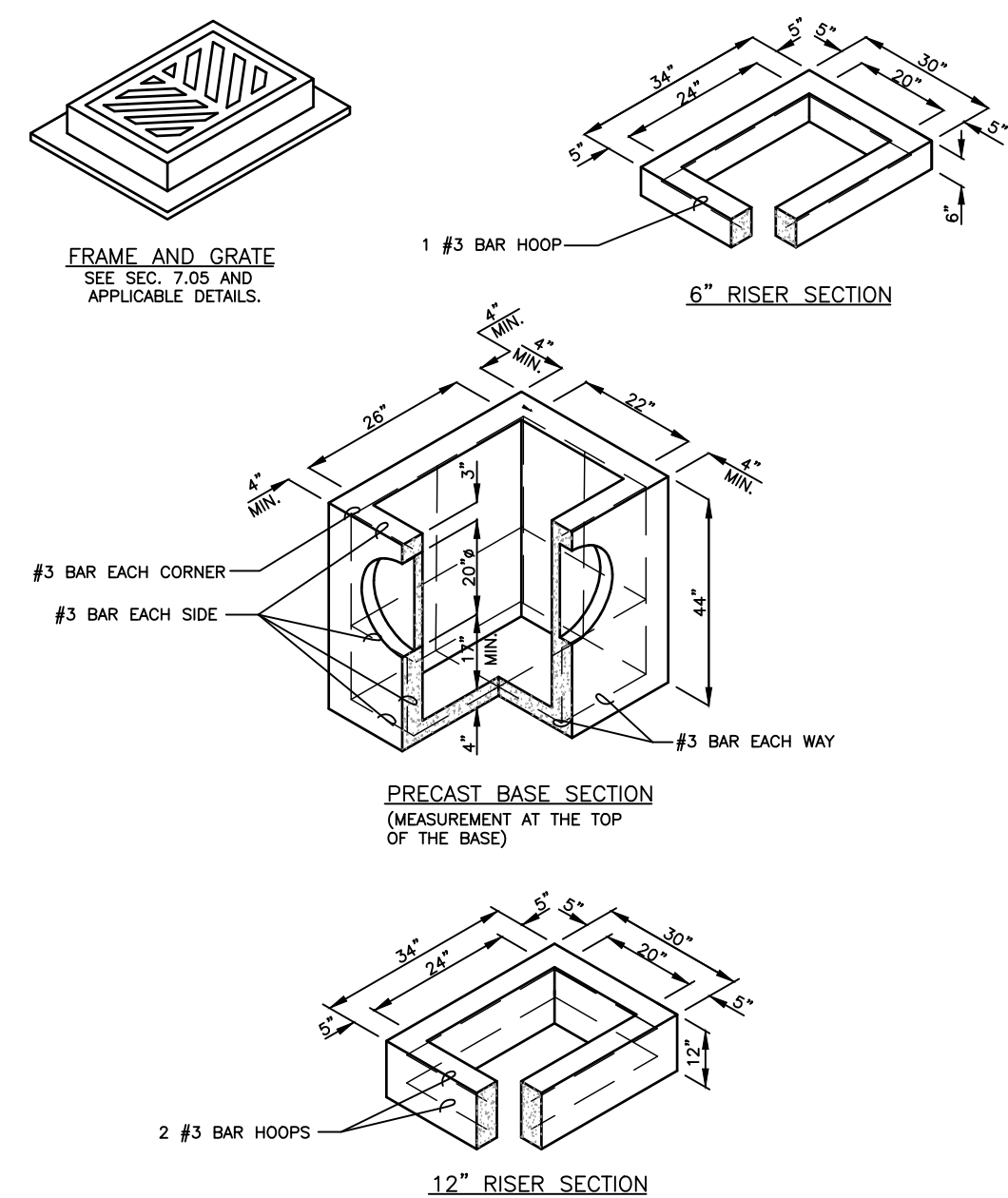
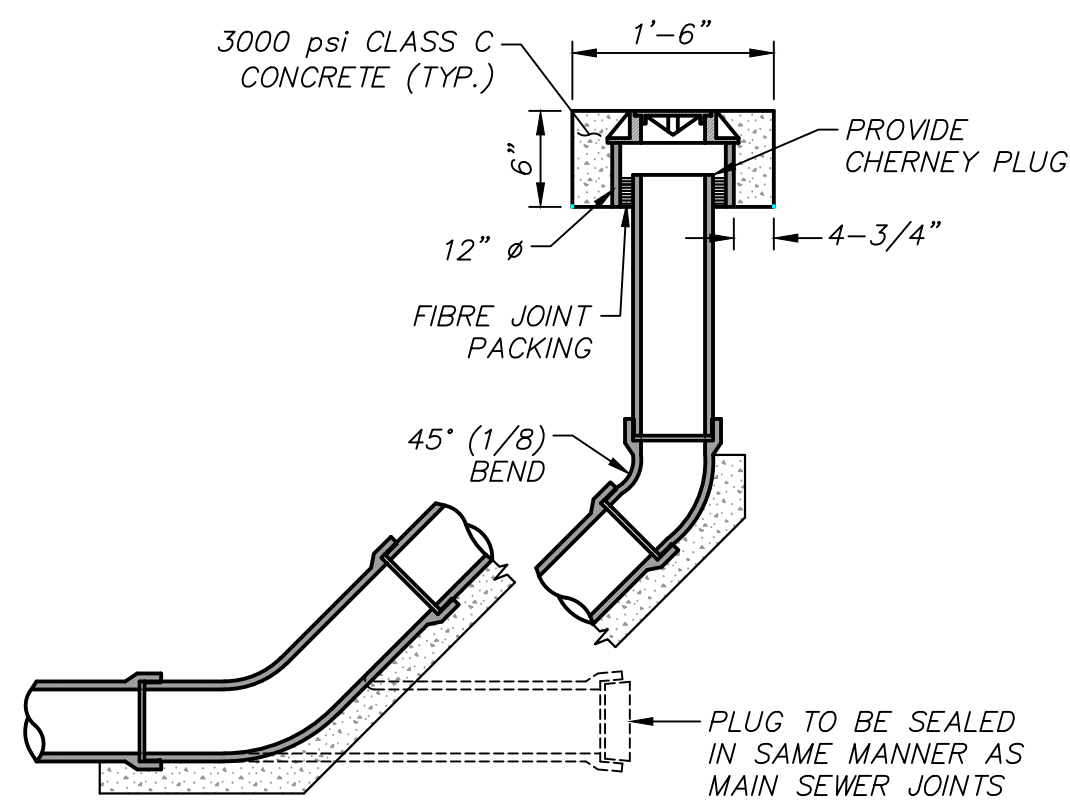
SHEET NO.
 C1.0
 OF 5

Plot Date: 1/13/2020 2:47 PM
 Save Date: 1/13/2020 2:45 PM
 By: Michael Stewart
 File: P:\S\SLAL00000004\0400CAD\ESC\SCHEETS\ESC-F-SLAL000004.dwg





- NOTES: 1. PIPE MATERIAL AS SPECIFIED BY THE ENGINEER. 2. PIPE DIAMETER AS SHOWN PER PLAN.

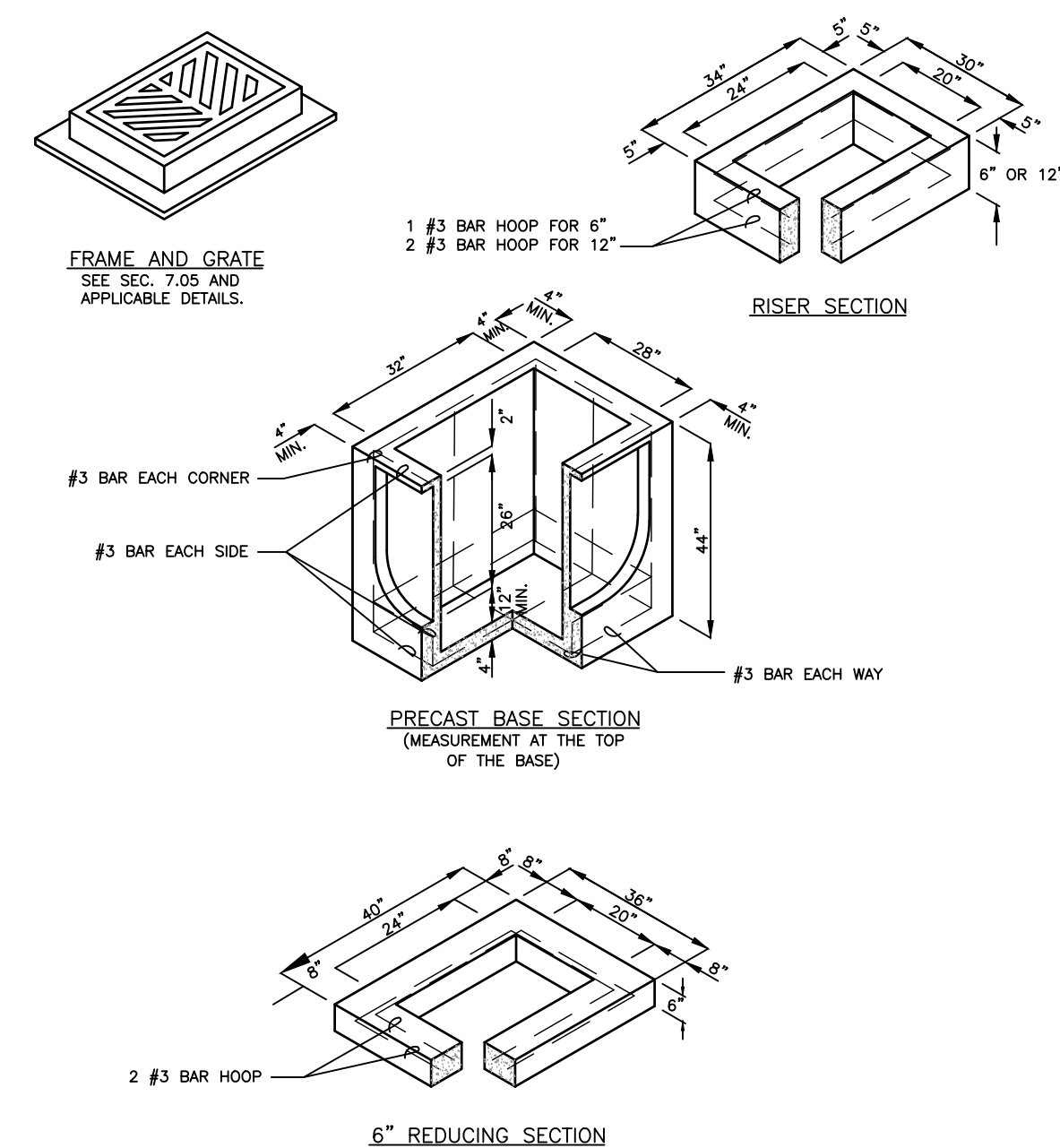


- NOTES: 1. CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AASHTO M 199 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE WSDOT/APWA STANDARD SPECIFICATIONS. 2. AS AN ACCEPTABLE ALTERNATIVE TO REBAR, WELDED WIRE FABRIC HAVING A MIN. AREA OF 0.12 SQ. IN. PER FT. MAY BE USED. WELDED WIRE FABRIC SHALL COMPLY TO ASTM A497 (AASHTO M 221). WIRE FABRIC SHALL NOT BE PLACED IN KNOCKOUTS. 3. ALL REINFORCED CAST-IN-PLACE CONCRETE SHALL BE CLASS 4000. 4. PRECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2 IN. MIN. ALL PIPE SHALL BE INSTALLED IN FACTORY PROVIDED KNOCKOUTS. UNUSED KNOCKOUTS NEED NOT BE GROUDED IF WALL IS LEFT INTACT. 5. KNOCKOUT OR CUTOUT HOLE SIZE IS EQUAL TO PIPE OUTER DIAM. PLUS CATCH BASIN WALL THICKNESS. 6. ROUND KNOCKOUTS MAY BE ON ALL 4 SIDES, WITH MAX. DIAM. OF 20 IN. KNOCKOUTS MAY BE EITHER ROUND OR 7. THE MAX. DEPTH FROM THE FINISHED GRADE TO THE PIPE INVERT IS 5 FT. 8. THE TAPER ON THE SIDES OF THE PRECAST BASE SECTION AND RISER SECTION SHALL NOT EXCEED 1/2\"/>

Department of Transportation Road Services Division 2016 Design and Construction Standards King County

CATCH BASIN TYPE 1 FIG. 7-003

7-8



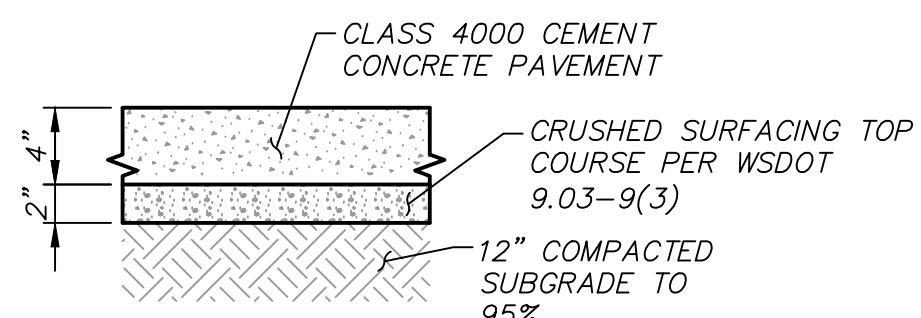
- NOTES: 1. CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AASHTO M 199 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE WSDOT/APWA STANDARD SPECIFICATIONS. 2. AS AN ACCEPTABLE ALTERNATIVE TO REBAR, WELDED WIRE FABRIC HAVING A MIN. AREA OF 0.12 SQ. IN. PER FT. MAY BE USED. WELDED WIRE FABRIC SHALL COMPLY TO ASTM A497 (AASHTO M 221). WIRE FABRIC SHALL NOT BE PLACED IN KNOCKOUTS. 3. ALL REINFORCED CAST-IN-PLACE CONCRETE SHALL BE CLASS 4000. 4. PRECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2 IN. MIN. ALL PIPE SHALL BE INSTALLED IN FACTORY PROVIDED KNOCKOUTS. UNUSED KNOCKOUTS NEED NOT BE GROUDED IF WALL IS LEFT INTACT. 5. KNOCKOUT OR CUTOUT HOLE SIZE IS EQUAL TO PIPE OUTER DIAM. PLUS CATCH BASIN WALL THICKNESS. 6. KNOCKOUTS MAY BE ON ALL 4 SIDES WITH MAX. DIAM. OF 28 IN. KNOCKOUTS MAY BE EITHER ROUND OR 7. THE TAPER ON THE SIDES OF THE PRECAST BASE SECTION AND RISER SECTION SHALL NOT EXCEED 1/2\"/>

Department of Transportation Road Services Division 2016 Design and Construction Standards King County

CATCH BASIN TYPE 1-L FIG. 7-004

7-9

1 CLEANOUT NOT TO SCALE



- NOTES: 1. DEPTHS ARE COMPACTED THICKNESS. 2. DUMMY JOINTS CONSISTING OF 3/16\"/>

2 CEMENT CONCRETE SECTION NOT TO SCALE

3 CATCH BASIN - TYPE 1 NOT TO SCALE

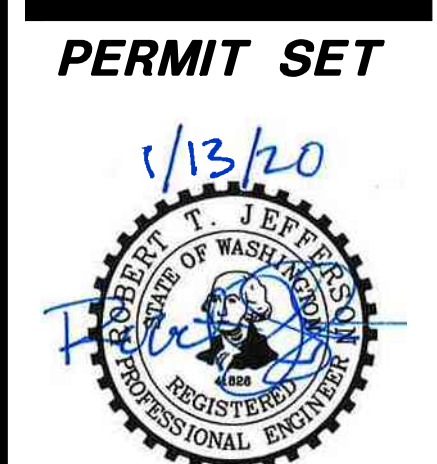
KING COUNTY STD. PLAN 7-003

4 CATCH BASIN - TYPE 1L NOT TO SCALE

KING COUNTY STD. PLAN 7-004

NOTES AND DETAILS SLA LANDSCAPE ARCHITECTS NORTHSHORE ATHLETIC FIELDS KING COUNTY WA

Table with columns: REVISION, DATE, BY, CK. Includes a revision history table and a permit stamp area.



STAMP NOT VALID UNLESS SIGNED AND DATED

FIRST SUBMITTAL DATE: 01/13/2020 SCALE: HORIZ:----- VERT:-----

PROJECT NO. SLAL00000004

SHEET NO. C3.1 OF 5

Plot Date: 1/13/2020 2:47 PM Save Date: 1/13/2020 2:44 PM By: Michael Stewart File: P:\SS\SLAL00000004\0400CAD\ECOSHEETS\SD-F-SLAL0000.dwg



Know what's below. Call before you dig.

NORTHSHORE ATHLETIC FIELD PLAYGROUND

14735 NE 145TH ST
WOODINVILLE, WA 98072

PREPARED FOR:

NORTHSHORE ATHLETIC FIELDS NON-PROFIT
14735 NE 145TH ST
WOODINVILLE, WA 98072

LANDSCAPE ARCHITECT

SANDERSON STEWART
ATTN: ERIK SWEET
1300 N TRANSTECH WAY
BILLINGS MT 59102



Sheet Number	Sheet Title
--	COVER
L1.0	OVERALL PLAN
L1.1	LANDSCAPE PLAN
L2.1	DETAILS
L2.2	DETAILS 2

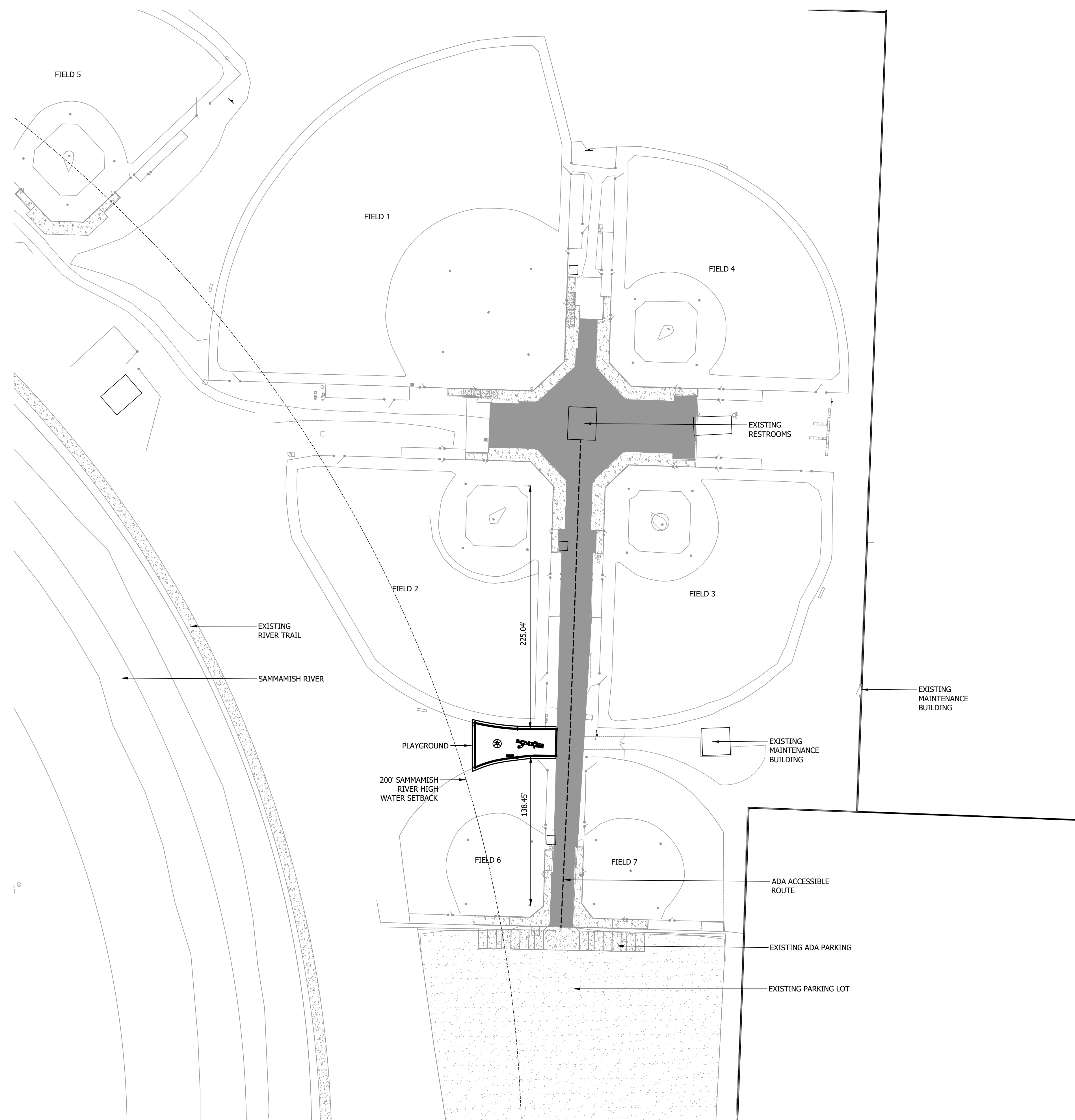


VICINITY MAP

NOT TO SCALE



Enduring Community Design

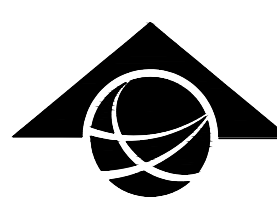


LEGEND

	ASPHALT
	CONCRETE
	GRAVEL
	ADA ACCESSIBLE ROUTE

OVERALL SITE PLAN

SCALE: 1" = 50'



PRELIMINARY - FOR REVIEW

DATE	DESCRIPTION
05/27/2020	SUBMITTAL
07/07/2020	RESUB
07/27/2020	RESUB

FILE:	20025_N SHORE SITE_PROD.DWG		
PROJECT NO.:	20025	JMC	
CAD:			
QUALITY ASSURANCE:		ES	



NORTHSHORE ATHLETIC FIELD PLAYGROUND
 14735 NE 145TH ST
 WOODINVILLE, WA 98072
 OVERALL SITE PLAN



UULC
 UTILITIES UNDERGROUND LOCATION CENTER
 MONTANA ONE CALL
 CALL BEFORE YOU DIG!
 1-800-424-5555
 www.Callbeforeyoudig.org



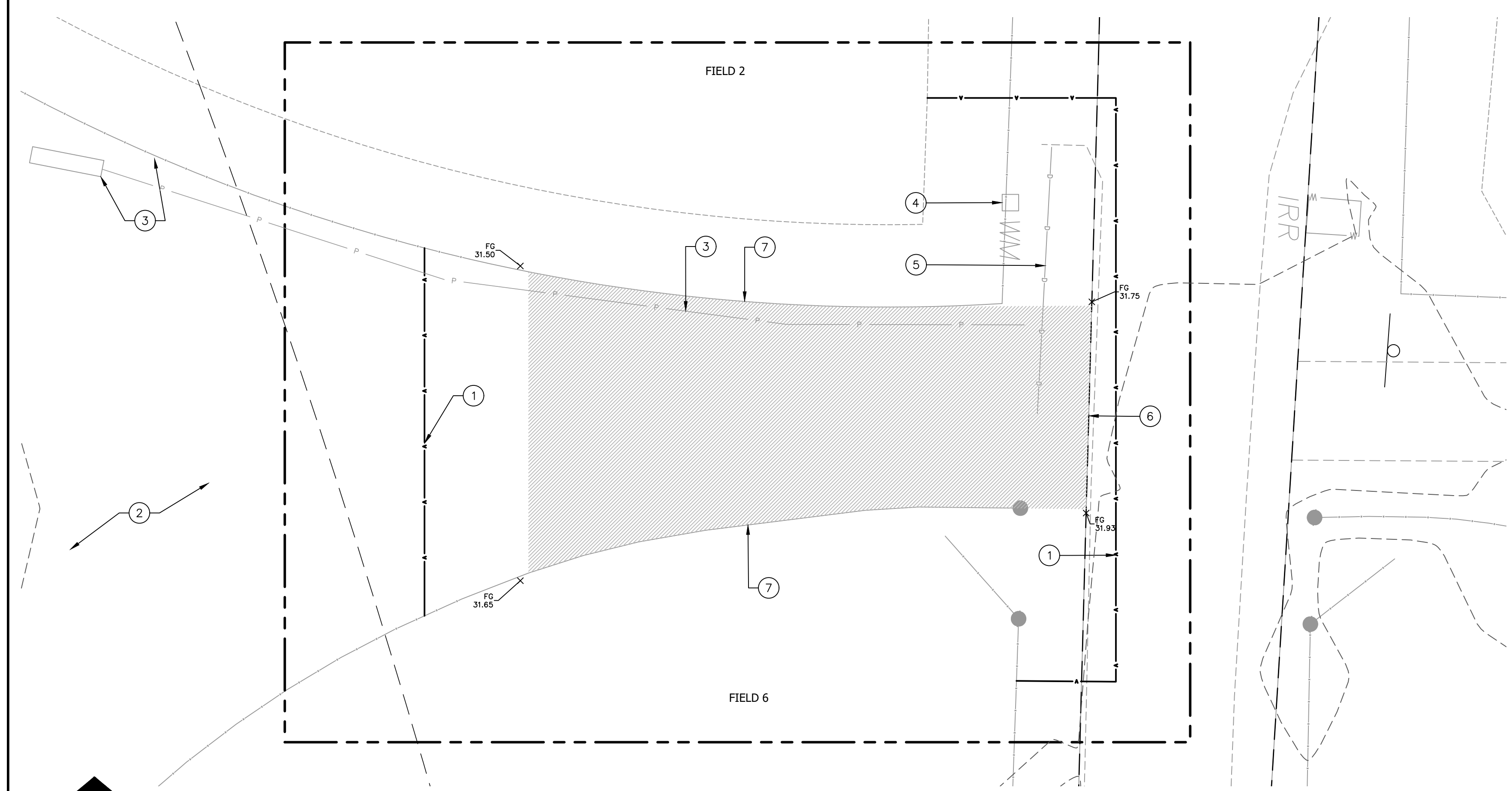


DATE	DESCRIPTION
05/27/2020	SUBMITTAL
07/07/2020	RESUB
07/27/2020	RESUB

FILE:	20025_N SHORE PLAYGROUND_PROD.DWG
PROJECT NO.:	20025
CAD:	JMC
QUALITY ASSURANCE:	ES

PRELIMINARY - FOR REVIEW

NORTHSHORE ATHLETIC FIELD PLAYGROUND
14735 NE 145TH ST
WOODINVILLE, WA 98072
LANDSCAPE PLAN



DEMOLITION LEGEND

- STRIP AND REMOVE SOD 4" DEPTH
- LIMIT OF WORK

DEMOLITION KEY NOTES

- 1 ORANGE CONSTRUCTION FENCE
- 2 PROTECT EXISTING SEPTIC DRAINFIELD
- 3 PROTECT EXISTING SCOREBOARD ELECTRICAL WIRE
- 4 COORDINATE AND PROTECT IRRIGATION LINES
- 5 PROTECT EXISTING DRAINLINE
- 6 SAWCUT ASPHALT TO A CLEAN LINE

DEMOLITION NOTES

1. ALL ITEMS INDICATED FOR REMOVAL AND EXCESS ITEMS SHALL BE DISPOSED OF BY THE CONTRACTOR OFF SITE, LEGALLY AS PER SPECIFICATIONS. ITEMS TO BE REMOVED ARE INDICATED ON THE DRAWINGS BUT MAY ALSO INCLUDE: TRASH, RUBBISH, STONES OVER 6" DIA., UNDERGROUND PIPING AND OTHER MISCELLANEOUS ITEMS PRESENT.
2. CLEAR AND GRUB AREAS DISTURBED BY NEW CONSTRUCTION. SITE PREPARATION WITHIN AREAS OF TREE PROTECTION FENCING SHALL BE DONE BY HAND.
3. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING ROADWAYS, WALKS, CURB AND GUTTER, SIGNS, UTILITIES AND VEGETATION. DAMAGE TO EXISTING FEATURES CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
4. IF IRRIGATION ZONES MUST BE DEACTIVATED DURING CONSTRUCTION, MANUALLY WATER ALL AFFECTED LANDSCAPE AREAS TO MAINTAIN A HEALTHY AND VIGOROUS CONDITION.
5. CONTRACTOR SHALL PROTECT ALL EXISTING TREES TO REMAIN AS INDICATED ON PLANS.
6. CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE OF LIMIT OF WORK.
7. CONTRACTOR SHALL GRIND ALL EXISTING TREE STUMPS TO 18" BELOW GRADE.
8. CONTRACTOR SHALL STRIP AREAS TO BE DISTURBED OF TOPSOIL (APPROX. 6") AND STOCKPILE ON SITE, IN LOCATION APPROVED BY OWNER'S REPRESENTATIVE. ALL STOCKPILES TO REMAIN WEED FREE. RE-SPREAD TOPSOIL IN AREAS TO BE SEEDED.

PLAYGROUND LEGEND

- PLAYGROUND SURFACING
- RESTORATION WARNING TRACK
- RESTORATION SEEDING
- NEW CONCRETE WITH INTEGRAL FENCE
- NEW FENCE
- RIVER BUFFER
- LIMIT OF WORK
- 4" PERFORATED ADS DRAINLINE

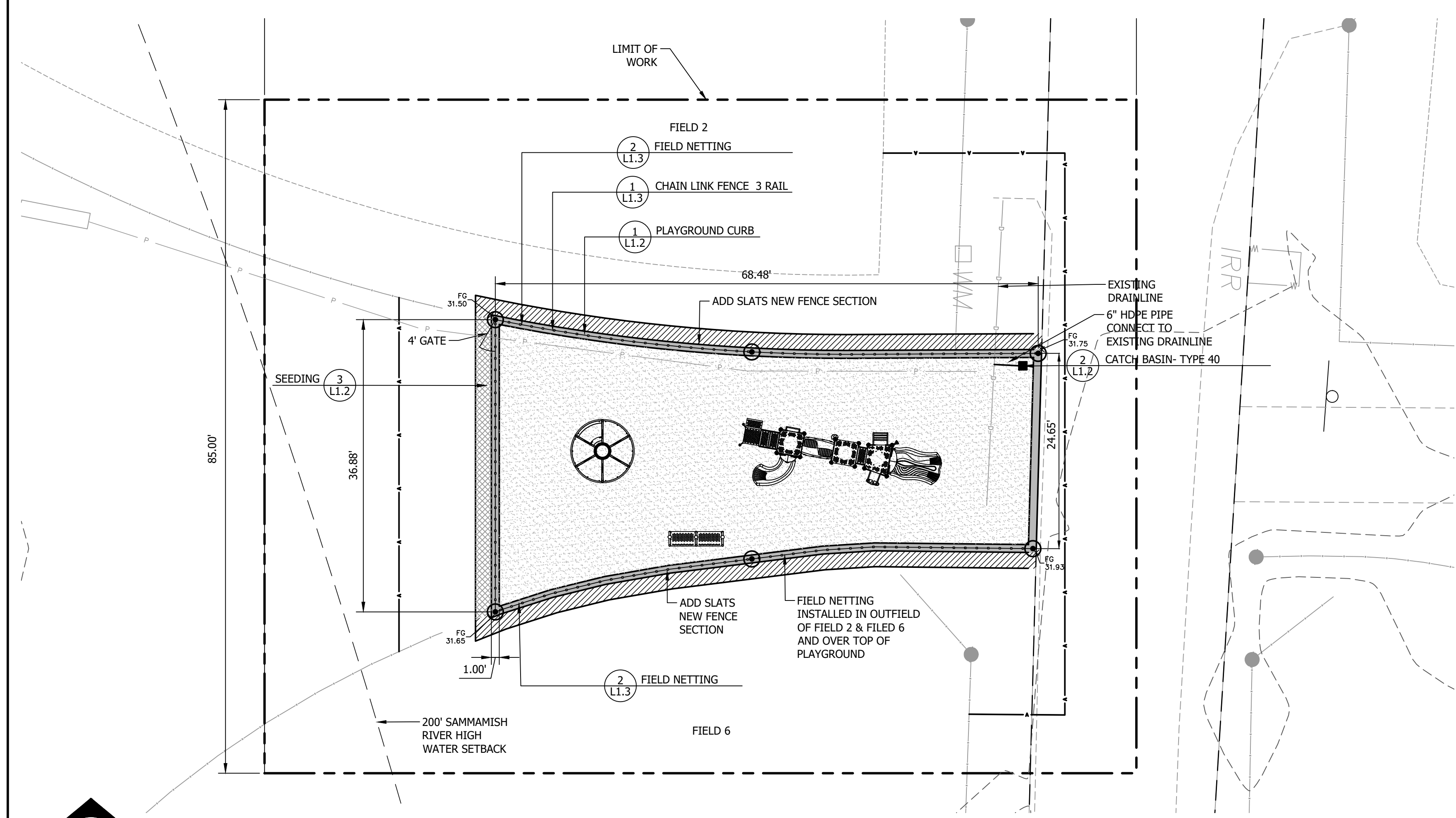
GENERAL NOTES

1. THE CONTRACTOR SHALL OBTAIN, AT THEIR OWN EXPENSE, APPLICABLE LICENSES, STANDARDS, PERMITS, ETC. WHICH ARE NECESSARY TO PERFORM THE WORK.
2. THE CONTRACTOR SHALL LOCATE, CLEARLY MARK AND MAINTAIN EXISTING UTILITIES ON THE SITE PRIOR TO WORK START UP. CALL FOR UTILITY LOCATES PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND REPAIR OF UTILITIES IF DAMAGED. REPAIR SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
4. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
5. LIMIT OF WORK IS AS INDICATED ON THE PLANS.
6. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH LANDSCAPE ARCHITECT AND OWNER.

LAYOUT NOTES

1. ALL SITE IMPROVEMENTS SHALL BE FIELD SURVEYED AND STAKED BY CONTRACTOR. RECEIVE OWNER'S REPRESENTATIVE APPROVAL OF STAKED LOCATIONS OF IMPROVEMENTS PRIOR TO INSTALLATION START-UP.
2. RECEIVE OWNER'S REPRESENTATIVE APPROVAL OF FINAL STAKING BY CONTRACTOR OF ALL CONCRETE FLATWORK PRIOR TO CONSTRUCTION AND ALL FORM WORK PRIOR TO POURING.
3. ALL DIMENSIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
4. PRIOR TO EXCAVATION, UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED.
5. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY DISCREPANCY BETWEEN WRITTEN COORDINATE POINTS/ELEVATIONS AND DIGITAL INFORMATION.
6. ALL CONTROL JOINTS SHALL BE SAWCUT AND SPACED AS INDICATED ON THE DRAWINGS AND DETAILS. EXPANSION JOINTS SHALL BE PLACED AS INDICATED ON THE DRAWINGS OR EVERY 80'.
7. ALL PLAYGROUND FENCING SHALL MEET ASTM F2049 STANDARDS. ADD SLATS TO FENCING WHERE OUTFIELD FENCE AND PLAYGROUND FENCE MEET.
8. PLAYGROUND MUST COMPLY WITH ASTM 1487.

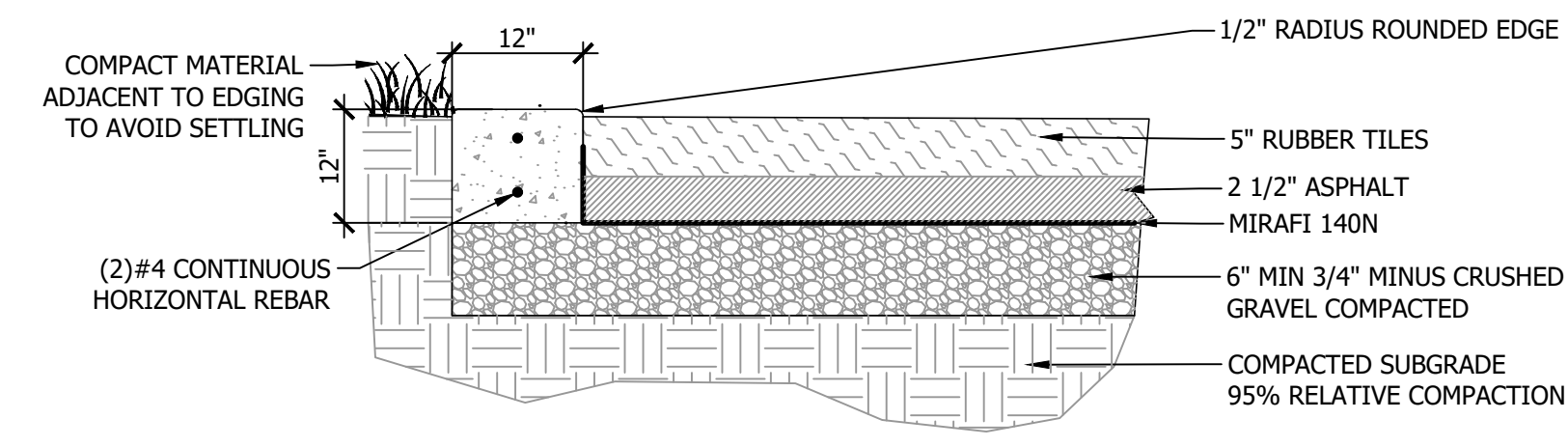
DEMOLITION PLAN
SCALE: 1" = 10'



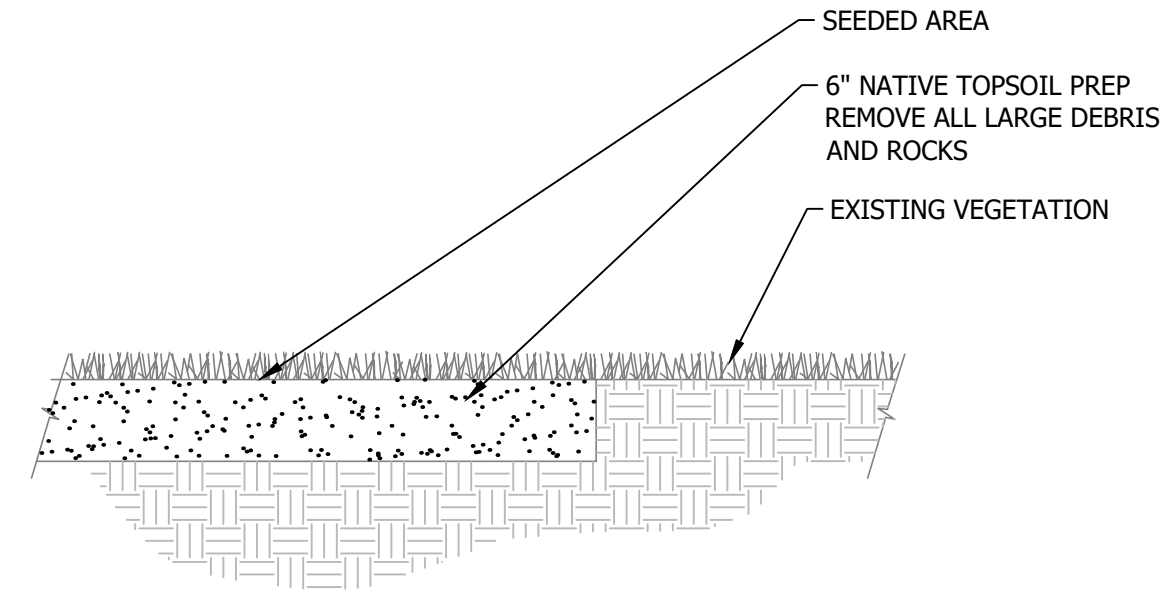
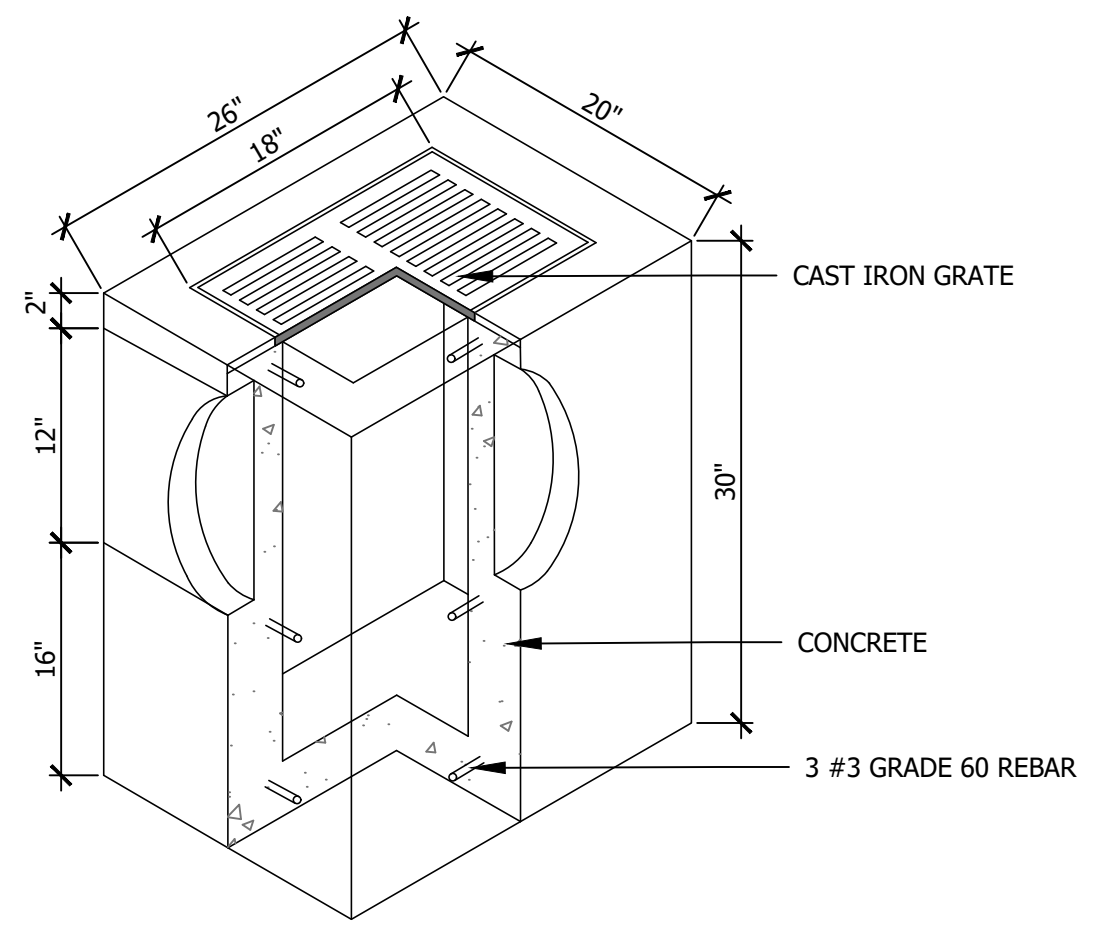
PLAYGROUND PLAN
SCALE: 1" = 10'



UULC
UTILITIES UNDERGROUND LOCATION CENTER
MONTANA ONE CALL
CALL BEFORE YOU DIG!
1-800-424-5555
www.Callbeforeyoudig.org



NOTES:
1. PROVIDE SUBMITTAL FOR WOOD MULCH

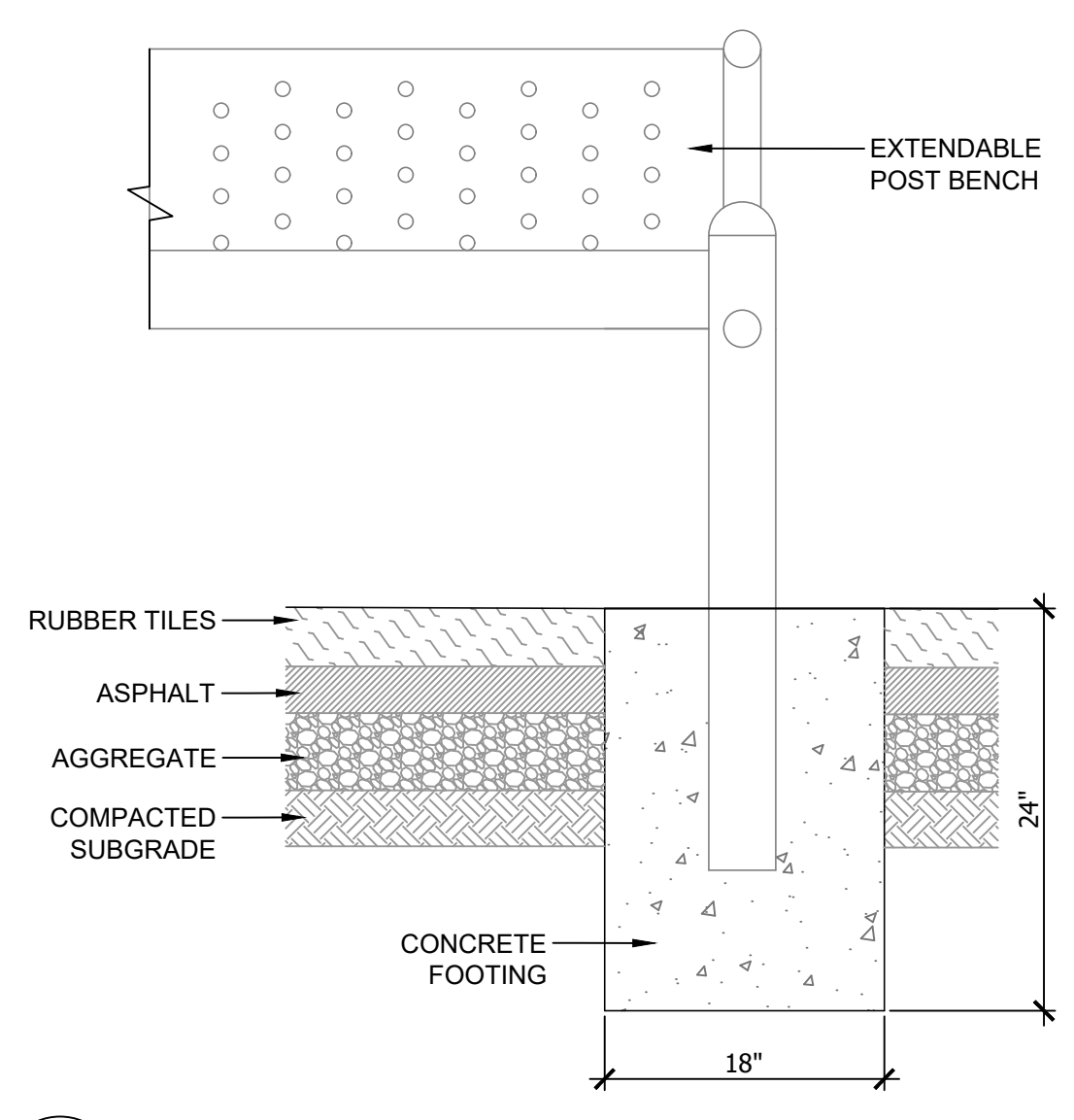


NOTE:
1. SCARIFY SUBGRADE 6", RAKE SUBGRADE AND REMOVE ALL DEBRIS GREATER THAN 1/2" IN DIA. INCLUDING ROCKS, CONCRETE, ORGANIC DEBRIS, AND OR CONSTRUCTION DEBRIS.
2. TOP SOIL SHALL BE 4" TOP SOIL AND 2" GOLF COURSE SAND TILLED TOGETHER.

1 PLAYGROUND CURB
N.T.S.

2 CATCH BASIN- TYPE 40
N.T.S.

3 SEEDING
N.T.S.



4 BENCH FOOTING
N.T.S.

PRELIMINARY - FOR REVIEW

DRAWING HISTORY	
DATE	DESCRIPTION
05/27/2020	SUBMITTAL
07/07/2020	RESUB
07/27/2020	RESUB

FILE:	2005_N SHORE PLAYGROUND_DETAILS.DWG
PROJECT NO.:	20025
CAD:	JMC
QUALITY ASSURANCE:	ES

NORTHSHORE ATHLETIC FIELD PLAYGROUND
14735 NE 145TH ST
WOODINVILLE, WA 98072
DETAILS



3. Exhibit C is deleted in its entirety and replaced by the following new Exhibit C:

AMENDED EXHIBIT – C**Schedule (NAF's Proposed Timing and Sequence of Capital Improvements)**

Project	Timing
Concessions / Restroom Building	2013
Maintenance Building	2013
Electrical (upgrade to code)	2013-2014
Batting Cages	2013-2014
Picnic Area & Kids Play Structure	2014
Field—1 Bleachers	2014
Walkway / Accessibility	2014
Entry	2014
Infield Turf and/or Fencing / Backstops / Netting	2015
3 rd Field Infield Conversion	Spring 2022
Playground	Summer 2022

All other terms, conditions, specifications and requirements of the Agreement shall remain unchanged and in full effect, except as amended herein.

IN WITNESS WHEREOF, the parties hereto have executed this amendment.

Northshore Athletic Fields

King County

By _____

By _____

TITLE _____

TITLE _____

Date _____

Date _____

Certificate Of Completion

Envelope Id: 9D2D1B37B9C64A31ADE9FE15CFBE415F	Status: Completed
Subject: Please DocuSign: Ordinance 19459.docx, Ordinance 19459 Attachment A.pdf	
Source Envelope:	
Document Pages: 3	Signatures: 3
Supplemental Document Pages: 30	Initials: 0
Certificate Pages: 5	Envelope Originator:
AutoNav: Enabled	Cherie Camp
Enveloped Stamping: Enabled	401 5th Ave
Time Zone: (UTC-08:00) Pacific Time (US & Canada)	Suite 100
	Seattle, WA 98104
	Cherie.Camp@kingcounty.gov
	IP Address: 198.49.222.20

Record Tracking

Status: Original	Holder: Cherie Camp	Location: DocuSign
6/30/2022 8:55:27 AM	Cherie.Camp@kingcounty.gov	
Security Appliance Status: Connected	Pool: FedRamp	
Storage Appliance Status: Connected	Pool: King County General (ITD)	Location: DocuSign

Signer Events

Claudia Balducci
 claudia.balducci@kingcounty.gov
 King County General (ITD)
 Security Level: Email, Account Authentication (None)

Signature

DocuSigned by:

 7E1C273CE9994B6...
 Signature Adoption: Pre-selected Style
 Using IP Address: 73.181.163.252

Timestamp

Sent: 6/30/2022 9:00:11 AM
 Viewed: 6/30/2022 9:19:30 AM
 Signed: 6/30/2022 9:19:43 AM

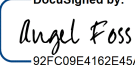
Electronic Record and Signature Disclosure:

Not Offered via DocuSign
 Supplemental Documents:

Ordinance 19459 Attachment A.pdf

Viewed: 6/30/2022 9:19:35 AM
 Read: Not Required
 Accepted: Not Required

Angel Foss
 angel.allende@kingcounty.gov
 Security Level: Email, Account Authentication (None)

DocuSigned by:

 92FC09E4162E45A...
 Signature Adoption: Pre-selected Style
 Using IP Address: 198.49.222.20

Sent: 6/30/2022 9:19:51 AM
 Resent: 7/7/2022 9:27:56 AM
 Viewed: 7/7/2022 9:29:31 AM
 Signed: 7/7/2022 9:30:21 AM

Electronic Record and Signature Disclosure:

Accepted: 7/7/2022 9:29:31 AM
 ID: 45f108c0-d180-406b-91b3-2571bccf00ab
 Supplemental Documents:

Ordinance 19459 Attachment A.pdf

Viewed: 7/7/2022 9:30:00 AM
 Read: Not Required
 Accepted: Not Required

Dow Constantine
 Dow.Constantine@kingcounty.gov
 Security Level: Email, Account Authentication (None)

DocuSigned by:

 4FBCAB8196AE4C6...
 Signature Adoption: Uploaded Signature Image
 Using IP Address: 198.49.222.20

Sent: 7/7/2022 9:30:29 AM
 Viewed: 7/14/2022 2:09:27 PM
 Signed: 7/14/2022 2:09:52 PM

Electronic Record and Signature Disclosure:

Accepted: 7/14/2022 2:09:27 PM
 ID: 440b47a5-e849-46df-a36a-96ea3ab1b38b
 Supplemental Documents:

Ordinance 19459 Attachment A.pdf

Viewed: 7/14/2022 2:09:45 PM

Signer Events	Signature	Timestamp
		Read: Not Required Accepted: Not Required
In Person Signer Events	Signature	Timestamp
Editor Delivery Events	Status	Timestamp
Agent Delivery Events	Status	Timestamp
Intermediary Delivery Events	Status	Timestamp
Certified Delivery Events	Status	Timestamp
Carbon Copy Events	Status	Timestamp
Kaitlyn Wiggins kwiggins@kingcounty.gov Executive Legislative Coordinator King County Executive Office Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Not Offered via DocuSign	COPIED	Sent: 7/7/2022 9:30:29 AM Viewed: 7/7/2022 1:12:53 PM
Witness Events	Signature	Timestamp
Notary Events	Signature	Timestamp
Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	6/30/2022 9:00:11 AM
Certified Delivered	Security Checked	7/14/2022 2:09:27 PM
Signing Complete	Security Checked	7/14/2022 2:09:52 PM
Completed	Security Checked	7/14/2022 2:09:52 PM
Payment Events	Status	Timestamps
Electronic Record and Signature Disclosure		

ELECTRONIC RECORD AND SIGNATURE DISCLOSURE

From time to time, Carahsoft OBO King County ITD (we, us or Company) may be required by law to provide to you certain written notices or disclosures. Described below are the terms and conditions for providing to you such notices and disclosures electronically through the DocuSign, Inc. (DocuSign) electronic signing system. Please read the information below carefully and thoroughly, and if you can access this information electronically to your satisfaction and agree to these terms and conditions, please confirm your agreement by clicking the 'I agree' button at the bottom of this document.

Getting paper copies

At any time, you may request from us a paper copy of any record provided or made available electronically to you by us. You will have the ability to download and print documents we send to you through the DocuSign system during and immediately after signing session and, if you elect to create a DocuSign signer account, you may access them for a limited period of time (usually 30 days) after such documents are first sent to you. After such time, if you wish for us to send you paper copies of any such documents from our office to you, you will be charged a \$0.00 per-page fee. You may request delivery of such paper copies from us by following the procedure described below.

Withdrawing your consent

If you decide to receive notices and disclosures from us electronically, you may at any time change your mind and tell us that thereafter you want to receive required notices and disclosures only in paper format. How you must inform us of your decision to receive future notices and disclosure in paper format and withdraw your consent to receive notices and disclosures electronically is described below.

Consequences of changing your mind

If you elect to receive required notices and disclosures only in paper format, it will slow the speed at which we can complete certain steps in transactions with you and delivering services to you because we will need first to send the required notices or disclosures to you in paper format, and then wait until we receive back from you your acknowledgment of your receipt of such paper notices or disclosures. To indicate to us that you are changing your mind, you must withdraw your consent using the DocuSign 'Withdraw Consent' form on the signing page of a DocuSign envelope instead of signing it. This will indicate to us that you have withdrawn your consent to receive required notices and disclosures electronically from us and you will no longer be able to use the DocuSign system to receive required notices and consents electronically from us or to sign electronically documents from us.

All notices and disclosures will be sent to you electronically

Unless you tell us otherwise in accordance with the procedures described herein, we will provide electronically to you through the DocuSign system all required notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you during the course of our relationship with you. To reduce the chance of you inadvertently not receiving any notice or disclosure, we prefer to provide all of the required notices and disclosures to you by the same method and to the same address that you have given us. Thus, you can receive all the disclosures and notices electronically or in paper format through the paper mail delivery system. If you do not agree with this process, please let us know as described below. Please also see the paragraph immediately above that describes the consequences of your electing not to receive delivery of the notices and disclosures electronically from us.

How to contact Carahsoft OBO King County ITD:

You may contact us to let us know of your changes as to how we may contact you electronically, to request paper copies of certain information from us, and to withdraw your prior consent to receive notices and disclosures electronically as follows:

To contact us by email send messages to: bob.johnson@kingcounty.gov

To advise Carahsoft OBO King County ITD of your new e-mail address

To let us know of a change in your e-mail address where we should send notices and disclosures electronically to you, you must send an email message to us at bob.johnson@kingcounty.gov and in the body of such request you must state: your previous e-mail address, your new e-mail address. We do not require any other information from you to change your email address..

In addition, you must notify DocuSign, Inc. to arrange for your new email address to be reflected in your DocuSign account by following the process for changing e-mail in the DocuSign system.

To request paper copies from Carahsoft OBO King County ITD

To request delivery from us of paper copies of the notices and disclosures previously provided by us to you electronically, you must send us an e-mail to bob.johnson@kingcounty.gov and in the body of such request you must state your e-mail address, full name, US Postal address, and telephone number. We will bill you for any fees at that time, if any.

To withdraw your consent with Carahsoft OBO King County ITD

To inform us that you no longer want to receive future notices and disclosures in electronic format you may:

- i. decline to sign a document from within your DocuSign session, and on the subsequent page, select the check-box indicating you wish to withdraw your consent, or you may;
- ii. send us an e-mail to bob.johnson@kingcounty.gov and in the body of such request you must state your e-mail, full name, US Postal Address, and telephone number. We do not need any other information from you to withdraw consent.. The consequences of your withdrawing consent for online documents will be that transactions may take a longer time to process..

Required hardware and software

Operating Systems:	Windows® 2000, Windows® XP, Windows Vista®; Mac OS® X
Browsers:	Final release versions of Internet Explorer® 6.0 or above (Windows only); Mozilla Firefox 2.0 or above (Windows and Mac); Safari™ 3.0 or above (Mac only)
PDF Reader:	Acrobat® or similar software may be required to view and print PDF files
Screen Resolution:	800 x 600 minimum

Enabled Security Settings:	Allow per session cookies
----------------------------	---------------------------

** These minimum requirements are subject to change. If these requirements change, you will be asked to re-accept the disclosure. Pre-release (e.g. beta) versions of operating systems and browsers are not supported.

Acknowledging your access and consent to receive materials electronically

To confirm to us that you can access this information electronically, which will be similar to other electronic notices and disclosures that we will provide to you, please verify that you were able to read this electronic disclosure and that you also were able to print on paper or electronically save this page for your future reference and access or that you were able to e-mail this disclosure and consent to an address where you will be able to print on paper or save it for your future reference and access. Further, if you consent to receiving notices and disclosures exclusively in electronic format on the terms and conditions described above, please let us know by clicking the 'I agree' button below.

By checking the 'I agree' box, I confirm that:

- I can access and read this Electronic CONSENT TO ELECTRONIC RECEIPT OF ELECTRONIC RECORD AND SIGNATURE DISCLOSURES document; and
- I can print on paper the disclosure or save or send the disclosure to a place where I can print it, for future reference and access; and
- Until or unless I notify Carahsoft OBO King County ITD as described above, I consent to receive from exclusively through electronic means all notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to me by Carahsoft OBO King County ITD during the course of my relationship with you.